

COOPER ACADEMY ELEMENTARY SCHOOL ADDITION RENOVATION BID SET

JOHNSTON COUNTY SCHOOLS
849 MIAL ST,
CLAYTON, NC 27520

PROJECT #
TBD

VICINITY MAP 1" = 600'



INDEX OF DRAWINGS

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SITE DATA

TOWN OF CLAYTON
SITE PLAN #
PROJECT: JCS COOPER ACADEMY BUILDING ADDITION/RENOVATION
OWNER: JOHNSTON COUNTY BOARD OF EDUCATION
OWNER CONTACT: BROOKS MOORE, CHIEF OF FACILITIES AND CONSTRUCTION
2320 BUS US 70 E, PO BOX 1336
SMITHFIELD, NC 27577
PHONE: 919-934-6031
BROOKSMOORE@JOHNSTONK12.EDU

DESIGNER: CLH DESIGN, PA
DESIGNER CONTACT: KETH DOWNING
REGENCY PARK
400 REGENCY FOREST DR., SUITE 120
CARY, NC 27518
PHONE: 919-319-6716
FAX: 919-319-7516

PROJECT ADDRESS: 849 MIAL ST., CLAYTON, NC 27520
PIN: 166914-33-1988
DEED BOOK AND PAGE: DB 00501 PG 0020

TRACT AREA: 17.23 AC
CURRENT ZONING: R-1
UNREVERSED PROTECTION OVERLAY (PARTIAL)
EXISTING USE: ELEMENTARY SCHOOL / INSTITUTIONAL
PROPOSED USE: ELEMENTARY SCHOOL / INSTITUTIONAL

BUILDING SETBACKS:
FRONT-25'
SIDE WALKWAY-10'
SIDE STREET-15'
REAR-25'

MAXIMUM BUILDING HEIGHT: 35'
MAXIMUM BUILDING COVERAGE: 35%
PARKING BUFFER: FRONT STREET-15'
SIDE STREET OR SIDE/REAR-5'

PROPOSED OFA OF ADDITION: 39,289 SF
BUILDING CONSTRUCTION: TYPE II-B

MAXIMUM IMPERVIOUS SURFACE: 55%
EXISTING IMPERVIOUS: 3.61 AC
PROPOSED IMPERVIOUS: 4.35 AC
NET IMPERVIOUS: 4.24 AC
DISTURBED AREA: 5.6 ACRES

PARKING REQUIREMENTS PER LUDO SECTION 6.8.4 AND 6.8.5:
PARKING CODE VEHICULAR: 1 SPACE PER EVERY EMPLOYEE ON LARGEST SHIFT
PARKING REQ'D VEHICULAR: 86 EMPLOYEES = 86 PARKING SPACES
PARKING PROVIDED: 60 EXISTING + 70 NEW SPACES = 130 SPACES

PARKING CODE BICYCLE: 1 SPACE PER 5,000 SF FLOOR AREA
BICYCLE PARKING: 1 RACK = 2 BICYCLE PARKING SPACES
12 RACKS PROVIDED (AT MAIN ENTRY)

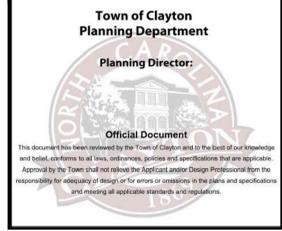
ACCESSIBLE PARKING:
EXISTING MAIN ENTRY FRONT LOT (11) - 1 VAC REQUIRED, 2 VAC PROVIDED
EXISTING NORTH STAFF LOT (40) - 1 VAC 1 AC REQUIRED, 1 VAC AND 1 AC PROVIDED
EXISTING CAFETERIA LOT (3) - 1 VAC REQUIRED, 1 VAC PROVIDED
PROPOSED LOWER LOT (70) - 1 VAC AND 2 AC REQUIRED, 1 VAC AND 2 AC PROVIDED

PUBLIC INFRASTRUCTURE TABLE

PUBLIC WATER (LF)	N/A
PUBLIC SEWER (LF)	N/A
PUBLIC STREET (LF)	N/A
PUBLIC SIDEWALK (LF)	N/A
PUBLIC GREENWAY (LF)	N/A
PUBLIC RIGHT OF WAY (SF)	N/A

QUANTITY TABLE

PRIVATE WATER	RESIDENTIAL DRIVEWAY - N/A
WATER TAPS 1/2"x1"	
3" PVC = 389-LF	
PRIVATE SEWER	
6" PVC = 85-LF	
6" DIP = 72-LF	



SITE PLAN REVIEW NOTES:
1. PER TOWN OF CLAYTON, THIS SITE DOES NOT REQUIRE ANY CORRECTION TO NONCONFORMING SITE FEATURES.
2. PER TOWN OF CLAYTON, NON-RESIDENTIAL DESIGN STANDARDS ARE NOT APPLICABLE TO THE NEW ADDITION (LUDO SECTION 6.2.5.B.2).

COOPER ACADEMY A & R

PROJECT TITLE
"CLIENT'S PROJECT" # - XXX

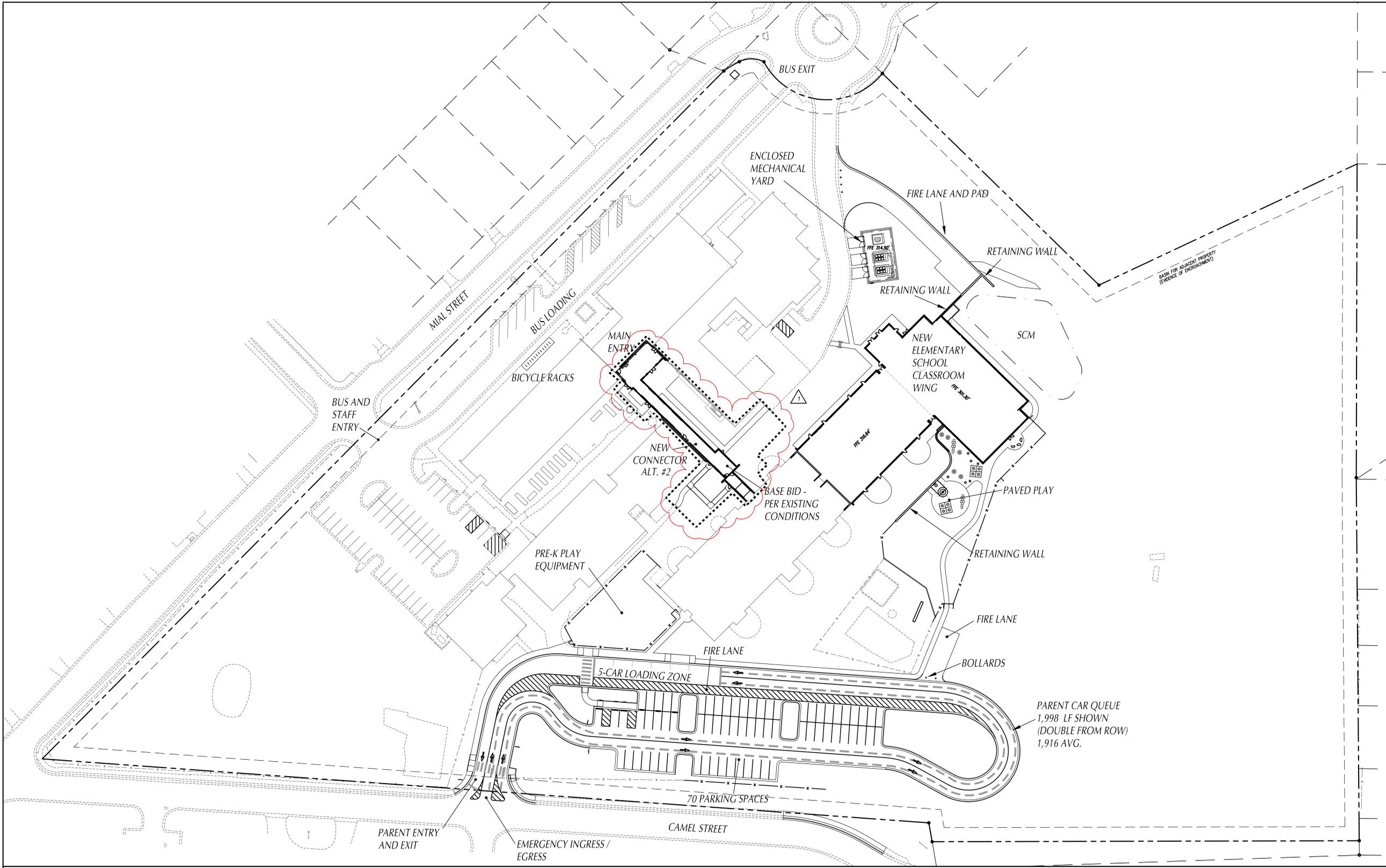


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3. DO NOT SCALE OFF DIMENSIONS.

NO.	DATE	DESCRIPTION
1	2/27/24	ADDENDUM #2

BID DOCUMENTS
PROJECT PHASE
2307
BOOMERANG DESIGN PROJECT NUMBER
02.07.24
DRAWING RELEASE DATE

COVER SHEET
SHEET TITLE
C000
SHEET



**COOPER ACADEMY
A & R**

PROJECT TITLE
"CLIENT'S PROJECT" # - XXX



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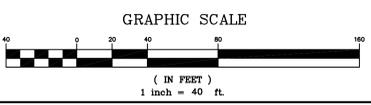
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**Town of Clayton
Planning Department**

Planning Director:

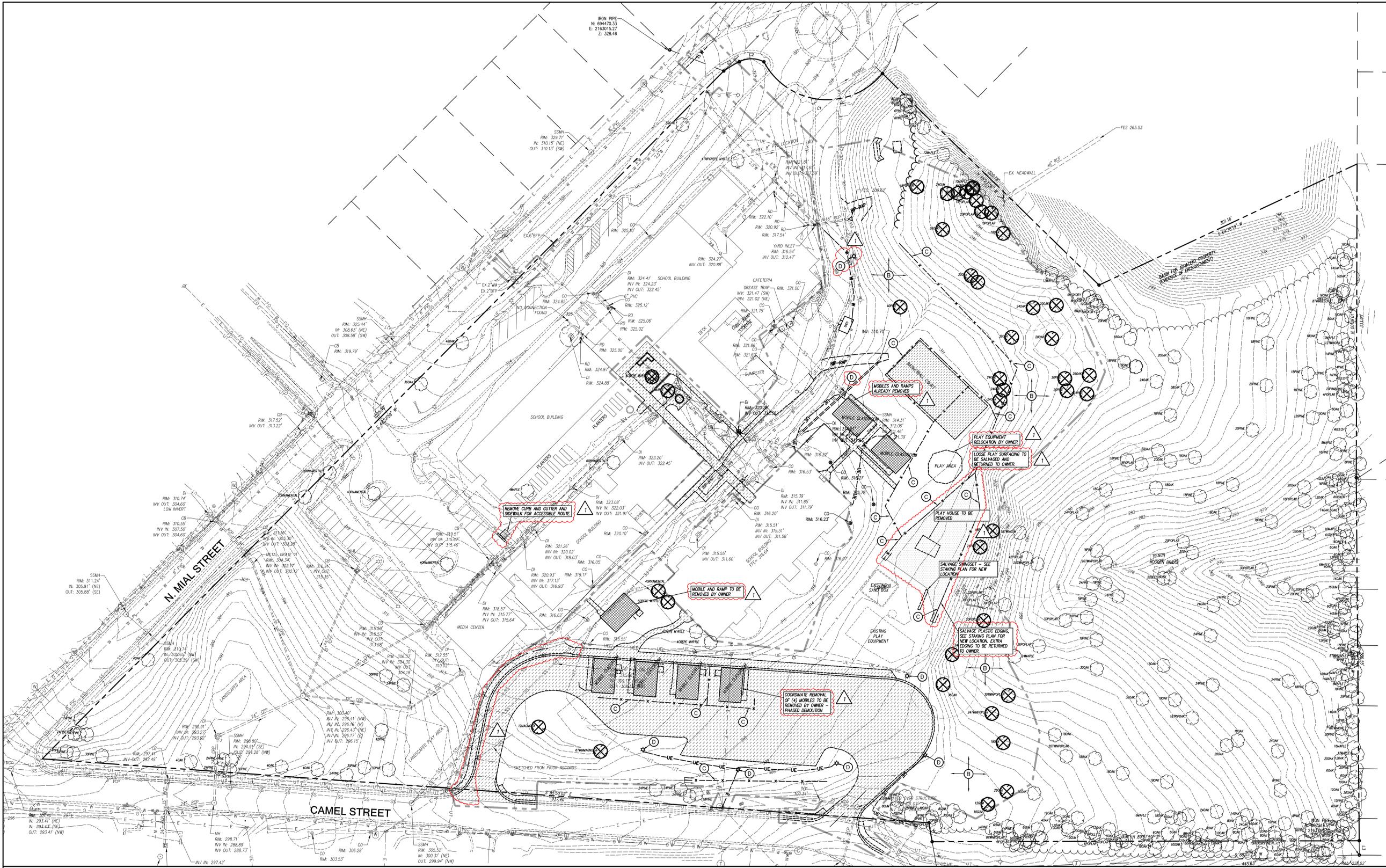
Official Document

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BID DOCUMENTS
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2307
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OVERALL PLAN
SHEET TITLE
C001
SHEET



COOPER ACADEMY A & R

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3. DO NOT SCALE OFF DIMENSIONS.

REVISIONS

NO.	DATE	DESCRIPTION
1	2/27/24	ADDENDUM #2

- GENERAL NOTES**
- ALL EXISTING STRUCTURES AND UTILITIES SHALL BE REMOVED AS NEEDED TO ALLOW NEW CONSTRUCTION. IN GENERAL, FEATURES INDICATED IN BOLD ON THIS PLAN SHALL BE REMOVED.
 - ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT, SIDEWALK, OR CURB AND CUTTER, ETC. ANY EXISTING PAVEMENT, SIDEWALK, CURB AND CUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED).
 - ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
 - ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
 - EXISTING SITE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM PRELIMINARY SURVEY BY STONES SURVEYING & MAPPING, PLLC. THESE PLANS DO NOT ASSUME ANY LIABILITY FOR ANY EXISTING INFORMATION BOTH SHOWN AND NOT SHOWN ON THE SURVEY AND ANY CHANGES TO THE EXISTING CONDITIONS THAT MAY HAVE OCCURRED AFTER THE SURVEY WAS ISSUED. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
 - INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB ALL AREAS AS SHOWN AND REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS). ALL CONTRACTORS SHALL VISIT THE SITE AND OBSERVE EXISTING CONDITIONS PRIOR TO BIDDING.
 - TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF CLEARING LIMITS, THE CONTRACTOR SHALL CUT 2-FT DEEP TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT, RATHER THAN TEAR ROOTS.
 - PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT ARCHITECT IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL TANKS AND SEPTIC SYSTEMS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
 - VERIFY ALL ILLUSTRATED UNDERGROUND ELEMENTS/UTILITIES EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS/UTILITIES. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS/UTILITIES ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
 - CONTACT UTILITY LOCATING SERVICE AT LEAST 48-HRS PRIOR TO EXCAVATION.
 - PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ARCHITECT. AREAS TO BE PROTECTED, REPAIRED AND CLEANED SHALL ALSO INCLUDE ANY STAGING AREAS, ACCESS ROUTES AND OTHER EXISTING IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS THAT ARE TO REMAIN.
 - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF CLAYTON AND/OR NCSDI STANDARDS AND SPECIFICATIONS.
 - ALL EXISTING VALVES, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE.
 - DEMOLITION AND PATCHING OF PAVEMENT, SIDEWALK, CURB AND CUTTER AND OTHER EXISTING PAVED SURFACES IN ADDITION TO THAT INDICATED ON THIS PLAN SHALL BE PERFORMED AS REQUIRED TO CONSTRUCT AND INSTALL NEW UTILITIES. ALL SUCH DEMOLITION AND PATCHING SHALL BE INCLUDED IN THE BASE BID SCOPE OF WORK. SEE SHEET C078 FOR PAVEMENT REPAIR DETAILS.
 - THIS SITE IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS AS DETERMINED BY FEMA AND DEPICTED ON F.I.R.M. MAP #1702018500A, DATED JUNE 20, 2018 AS BEING WITHIN ZONE X-OTHER AREA.
 - NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCEDURE OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

LEGEND

STRUCTURES/UTILITIES TO BE REMOVED	STRUCTURES/UTILITIES TO REMAIN
OVERHEAD ELECTRICAL UNDERGROUND FIRE PROTECTION	OVERHEAD ELECTRICAL UNDERGROUND FIRE PROTECTION
---E---	---E---
---UE---	---UE---
---FP---	---FP---
---G---	---G---
---SS---	---SS---
---T---	---T---
---UT---	---UT---
---FO---	---FO---
---W---	---W---
---FM---	---FM---
---SD---	---SD---
---IT---	---IT---
LP	LP
UP	UP
MP	MP
OH	OH
CO	CO
DI, CB	DI, CB
FH	FH
WV	WV
CONSTR./CLEANING LIMITS	PAVEMENT, S/W, C&G TO BE REMOVED
GRAVEL AREA TO BE REMOVED	BUILDING TO BE REMOVED

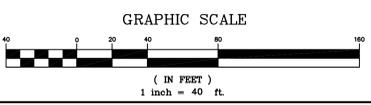
- KEY NOTES**
- NOT USED
 - CLEAR AND GRUB, STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
 - REMOVE FENCE, SALVAGE AND STORE FABRIC TO BE REUSED. SEE STAGING PLAN FOR LOCATIONS.
 - EXISTING UTILITY LINE/STRUCTURE TO BE REMOVED/RELOCATED BY LOCAL UTILITY COMPANY. LOCAL UTILITY COMPANY SHALL DETERMINE THE LIMITS AND EXTENT OF REMOVAL/RELOCATION OF UTILITIES REQUIRED FOR NEW CONSTRUCTION. COORDINATE SCHEDULE AND WORK WITH LOCAL UTILITY COMPANY AND ARCHITECT/OWNER.

Town of Clayton Planning Department

Planning Director:

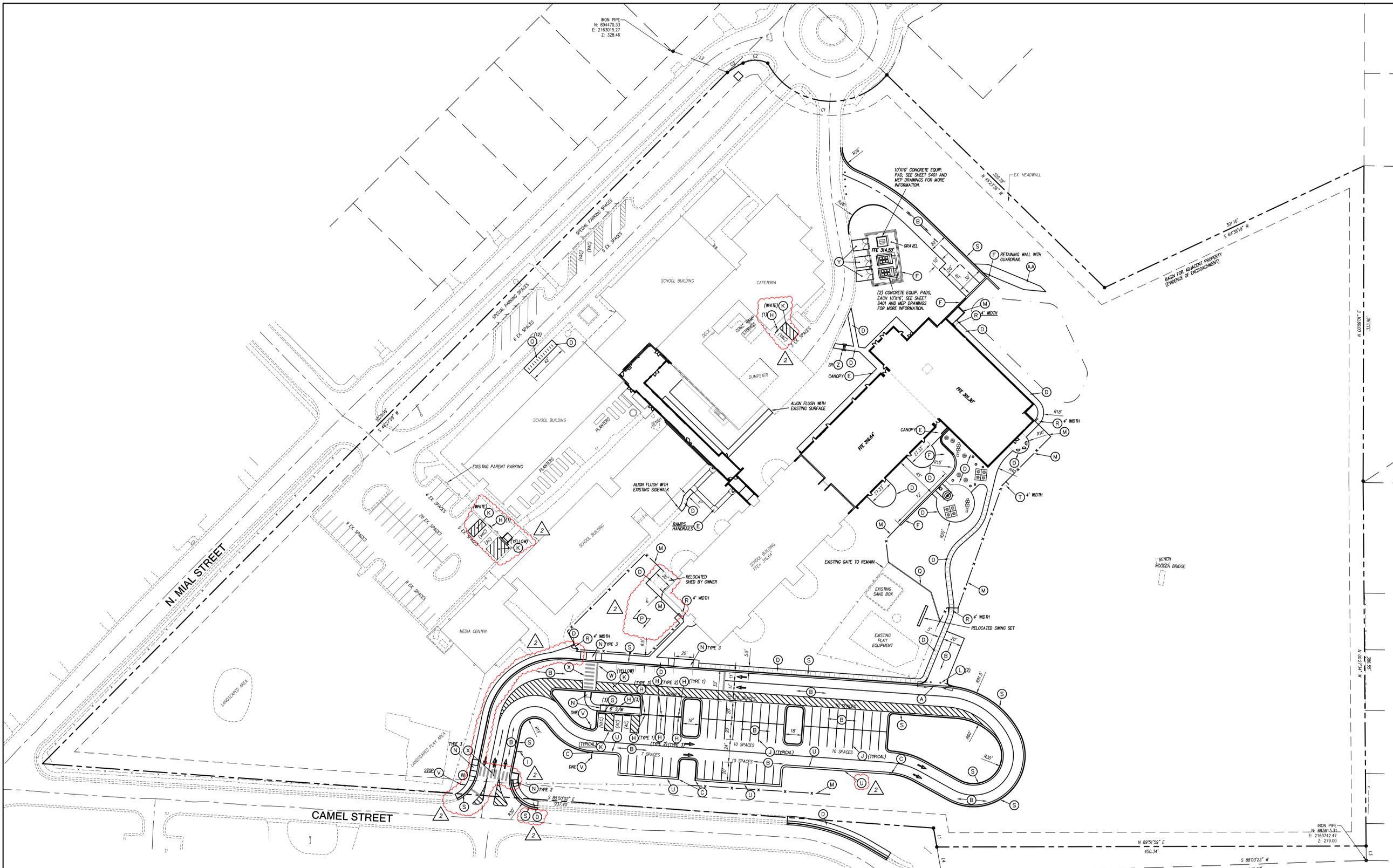
Official Document

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BID DOCUMENTS
PROJECT PHASE
2307
BOOMERANG DESIGN PROJECT NUMBER
02.07.24
DRAWING RELEASE DATE

DEMOLITION PLAN
SHEET TITLE
C101
SHEET



**COOPER ACADEMY
A & R**

PROJECT TITLE
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3. DO NOT SCALE DIMENSIONS.

NO.	DATE	DESCRIPTION
1	2/20/24	ADDENDUM #1
2	2/27/24	ADDENDUM #2

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF CLAYTON AND NCDOT STANDARDS AND SPECIFICATIONS. ALL TOWN OF CLAYTON UTILITY CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF CLAYTON STANDARD SPECIFICATIONS AND DETAILS IN EFFECT AT TIME OF UTILITY PERMITTING.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE SHOWN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS SHOWN AND CONTACT THE ARCHITECT IF ANY DISCREPANCIES OCCUR.
- CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- ALL FACE OF RADII ARE 4 FT UNLESS OTHERWISE SHOWN.
- ALL PARKING SPACES SHALL BE 9' WIDE X 20' DEEP MIN. PER TOWN OF CLAYTON CODE OF ORDINANCES.
- (AC) DENOTES ACCESSIBLE PARKING SPACE.
- (VAC) DENOTES VAN ACCESSIBLE PARKING SPACE.
- ANY AND ALL LANDSCAPING, EXISTING TREES OR SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SCORING/JOINTS FOR APPROVAL BY ARCHITECT 30 DAYS MINIMUM PRIOR TO INSTALLATION.
- THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0%.
- NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

TYP. PARKING DIMENSIONS

NOTES:

- ALL DIMENSIONS ARE FROM FACE OF CURB
- ALL PARALLEL PARKING SPACES ARE MINIMUM OF 9' WIDE AND 22' LONG.
- ALL VAN ACCESSIBLE AND ACCESSIBLE PARKING SPACES SHALL BE 9' WIDE BY 20' DEEP WITH A 9° ANGLE.
- ALL 90 DEGREE PARKING SPACES ARE 9' WIDE X 20' LONG.
- ALL RADII 4' UNLESS DIMENSIONED OTHERWISE.

TRAFFIC CONTROL NOTES

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
- ALL SIGNS SHALL BE MOUNTED WITH 7'-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 3'-LB. GALV. STEEL U-CHEMEL POST SET IN 3'-FT DEEP X 12'-IN DIA. CONCRETE FOOTING.
- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND NCDOT STANDARDS AND THE PROJECT SPECIFICATIONS.

MARKING	NCDOT STD.	SIZE	COLOR
PARKING SPACES	1205.09	4"-IN	WHIT.
DIAGONAL CROSSWALK	1205.07(b)-V(S)	24"-IN	WHIT.
STOP BAR		24"-IN	WHIT.

- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC TYPE EXCEPT FOR PARKING SPACE LINES WHICH SHALL BE ALUMINUM-RESIN TYPE PAINT.
- ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY CLH DESIGN PRIOR TO SIGN INSTALLATION.
- CONTROL ALL DIRECTIONAL ARROWS WITHIN TRAFFIC LANE.
- COORDINATE FIRE LANE MARKINGS WITH TOWN OF CLAYTON FIRE MARSHAL.
- ALL SIGNS SHALL USE PRISMATIC SHEETING THAT MEETS MINIMUM REFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.

KEY NOTES

- ROLL CURB, SEE DETAIL SHEET C704.
- STANDARD ASPHALT, SEE DETAIL SHEET C705.
- STANDARD METHOD OF ENDING CURB AND GUTTER, SEE DETAIL SHEET C704.
- CONCRETE SIDEWALK, SEE DETAIL SHEET C704.
- SEE ARCHITECTURAL PLANS.
- CONCRETE RETAINING WALL WITH FENCING, SEE STRUCTURAL DRAWINGS.
- PRECAST CONCRETE WHEELSTOP, SEE DETAIL SHEET C705.
- ACCESSIBLE SIGNAGE, SEE DETAIL SHEET C705.
- SCHOOL DIRECTIONAL SIGNAGE, SEE DETAIL SHEET C704.
- PARKING SPACE STRIPING, SEE TRAFFIC CONTROL NOTES THIS SHEET.
- DIAGONAL STRIPING, SEE TRAFFIC CONTROL NOTES THIS SHEET.
- COLLAPSIBLE BOLLARD, SEE SPECIFICATIONS SEE DETAIL C704.
- 4" HT. CHAINLINK FENCING, BLACK VINYL COATED, SEE DETAIL SHEET C704.
- ACCESSIBLE CURB CUT, SEE DETAIL SHEET C703.
- BICYCLE RACKS, SEE SPECIFICATIONS SEE DETAIL SHEET C705.
- APPROXIMATE LOCATION FOR OWNER-FURNISHED, OWNER-INSTALLED PRE-K PLAY EQUIPMENT AND PLAY STRIPING.
- REINSTALL SALVAGED PLASTIC EDGING FOR EXISTING PLAY MATERIAL SURFACING.
- 4" HT. ORNAMENTAL GATE WITH PANIC HARDWARE, SEE DETAIL SHEET C704.
- 24" CURB AND GUTTER, SEE DETAIL SHEET C704.
- CONCRETE BENCHES BY WAUSAU, SEE SPECIFICATIONS AND PLANS FOR MODEL #
- CONCRETE BAND FLUSH WITH ASPHALT, SEE DETAIL SHEET C704.
- TRAFFIC CONTROL SIGNAGE, SEE NOTES THIS SHEET.

(W) STOP BAR, SEE NOTES THIS SHEET.
(X) HI-VIS CROSSWALK, SEE NOTES THIS SHEET.
(Y) HEAVY DUTY CONCRETE, SEE DETAIL SHEET C704.
(Z) CONCRETE STAIR WITH CHEEK WALLS, SEE DETAIL SHEET C705.
(AA) 6" ABC GRAVEL ACCESS DRIVE

**Town of Clayton
Planning Department**

Planning Director:

Official Document

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GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

BID DOCUMENTS
PROJECT PHASE
2307
BOOMERANG DESIGN PROJECT NUMBER
02.07.24
DRAWING RELEASE DATE

**STAKING AND
PAVEMENT MARKING
PLAN**
SHEET TITLE
C201
SHEET



COOPER ACADEMY A & R

PROJECT TITLE
"CLIENT'S PROJECT" # - XXX

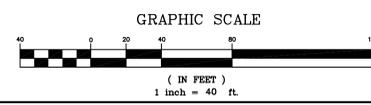
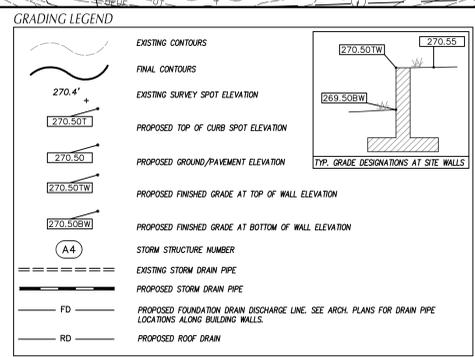


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NO.	DATE	DESCRIPTION
1	2/20/24	ADDENDUM #1
2	2/26/24	ADDENDUM #2

DRAINAGE STRUCTURE SCHEDULE											
STRUCTURE NO.	PIPE DIA.	PIPE SLOPE	PIPE MATL.	PIPE DIA.	UPPER INVERT (FT)	LOWER INVERT (FT)	TOP ELEV. (FT)	DEPTH (FT)	UPSTREAM STRUCTURE DATA	TYPE	NOTES
A1	A2	0.82%	18	24	RCP	296.50	296.35	301.50	5.00	CB	(1)
A2	A3	2.88%	18	78	RCP	296.25	294.00	301.50	5.25	CB	(1)
B1	B2	4.13%	15	34	RCP	318.80	317.40	323.20	4.40	DI	
B2	B3	8.18%	15	34	RCP	317.30	315.20	321.75	4.45	DI	
B3	B4	2.04%	15	54	RCP	315.10	314.00	319.50	4.40	MH	
B4	B5	0.55%	15	70	RCP	311.30	310.80	317.00	5.70	DI	
B5	B6	1.02%	15	48	RCP	310.80	310.30	315.90	5.10	DI	
B6	B7	7.00%	15	100	RCP	310.20	303.20	315.80	5.60	DI	
B7	B8	3.87%	15	30	RCP	303.10	301.95	308.00	4.90	DI	
B8	B9	5.71%	15	30	RCP	300.00	298.00	306.50	6.50	DI	
B10	B5	0.55%	15	17	RCP	311.50	311.40	315.90	4.40	DI	
B11	B8	0.62%	15	32	RCP	300.30	300.10	305.90	5.60	CB	(1)
C1	C2	0.61%	15	41	RCP	295.10	295.05	300.50	4.40	DI	
C2	C3	0.54%	15	102	RCP	295.15	295.20	301.00	5.25	MH	
C3	C4	0.58%	15	27	RCP	295.10	294.95	300.50	5.40	MH	
D1	D2	2.13%	18	94	RCP	295.00	293.00	300.50	5.50	DI	
E1	E2	9.57%	18	115	RCP	307.00	296.00	312.00	5.00	DI	

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF CLAYTON AND NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL SPOT ELEVATIONS INDICATED AT CURB AND GUTTER AND ARE DOTTED TO TOP OF CURB, UNLESS OTHERWISE SHOWN.
 - TOTAL DENUDED AREA = 1.4 AC
 - CONTRACTOR SHALL ADJUST ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. AS NEEDED TO MATCH FINISH GRADE.
 - ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNERS INDEPENDENT TESTING LABORATORY. (SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION)
 - ALL STORM DRAIN PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER STOPPAGE OF WORK EACH DAY.
 - EXISTING VEGETATION SHALL REMAIN UNDISTURBED UNLESS NOTED OTHERWISE.
 - ANY AND ALL LANDSCAPING AND EXISTING TREES & SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE.
 - THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY STATE AUTHORITIES OR THE ARCHITECT.
 - THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING CONSTRUCTION AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
 - THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0%.
 - CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS WHERE NEW CONSTRUCTION JOIN OR CONNECT TO EXISTING PAVEMENT, CURB AND OTHER ROOF STRUCTURES. NOTIFY ARCHITECT IF DISCREPANCIES OCCUR.



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Fall Permanent Seeding August 15 - November 1
 Lime 2 tons/ac
 5-10-10 Fertilizer 1000 lbs/ac
 0-20-0 500 lbs/ac
 Unscarified Service Lespedeza 60 lbs/ac
 Ky-31 Fescue 30 lbs/ac
 Rye Grain 25 lbs/ac
 Straw Mulch 2 tons/ac

Fall Permanent Seeding - Centipede: September 1 - February 28
 Lime 2 tons/ac
 Fertilizer (low nitrogen approved for Centipede) (Appropriate fertilizer approved for centipede application) 1000 lbs/ac
 Rye Grain 90 lbs/ac
 Centipede Seed 15 lbs/ac (overseeded in spring) 90 lbs/ac
 Straw Mulch 2 tons/ac

Winter Temporary Cover November 1 - February 28
 Lime 2 tons/ac
 10-10-10 Fertilizer 700 lbs/ac
 Oats 50 lbs/ac
 Rye Grain 20 lbs/ac
 Straw Mulch 2 tons/ac

Spring Permanent Seeding March 1 - April 30
 Lime 2 tons/ac
 5-10-10 Fertilizer 1000 lbs/ac
 0-20-0 500 lbs/ac
 Scarified Service Lespedeza 50 lbs/ac
 Ky-31 Fescue 30 lbs/ac
 Browntop Millet 20 lbs/ac
 Straw Mulch 2 tons/ac

Spring Permanent Seeding - Centipede: April 1 - July 15
 Lime 2 tons/ac
 Fertilizer (low nitrogen approved for Centipede) (Appropriate fertilizer approved for centipede application) 1000 lbs/ac
 Centipede Seed 90 lbs/ac
 Straw Mulch 2 tons/ac

Late Spring Permanent Seeding March 15 - June 30
 Lime 2 tons/ac
 10-10-10 Fertilizer 1000 lbs/ac
 0-20-0 500 lbs/ac
 Scarified Service Lespedeza 40 lbs/ac
 Common Bermuda Grass (hulled) 8 lbs/ac
 Straw Mulch 2 tons/ac

Summer Temporary Cover June 30 - August 5
 Lime 2 tons/ac
 10-10-10 Fertilizer 700 lbs/ac
 Browntop Millet 40 lbs/ac
 Straw Mulch 2 tons/ac

NOTES:
 1. ★ Mulch will be doubled if crimping is the method used.

TOWN of CLAYTON
 USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY
SEEDING SPECIFICATIONS
 SCALE: Not To Scale DETAIL # 402.01
 REVISION DATE: July, 2010 SHEET # 1 of 1

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TOWN of CLAYTON
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CONCRETE CURB AND GUTTER SECTIONS
 SCALE: Not To Scale DETAIL # 402.01
 REVISION DATE: July, 2010 SHEET # 2 of 2

2'-6" CURB AND GUTTER
1'-6" CURB AND GUTTER
ROLL TYPE CURB AND GUTTER
VALLEY GUTTER
SHOULDER BERM GUTTER

NOTES:
 1. SLEEVE TO BE FILLED WITH NON-SHRINK GROUT AND BE FLUSH TO FINISH GRADE.
 2. 3-1/2" DIA. PVC OR STEEL SLEEVE INSTALL TO BE COORDINATED BETWEEN TRADES.
 3. FENCE SHALL MATCH HEIGHT OF EXISTING FENCING.
 4. SEE SPECIFICATIONS FOR ADDITIONAL FENCE INFORMATION.
 5. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
 6. FENCE COLOR: MATCH EXISTING.

FENCE POST IN TOP OF CONCRETE RETAINING WALL
FENCE POST IN SIDEWALK
FENCE POST ANCHORING

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CONCRETE CURB AND GUTTER SECTIONS
 SCALE: Not To Scale DETAIL # 402.01
 REVISION DATE: July, 2010 SHEET # 2 of 2

TRANSVERSE EXPANSION JOINT IN CURB AND GUTTER
LONGITUDINAL PLAIN BUTT JOINT
SLOPES FOR VARIABLE SUPERELEVATION RATES

NOTES:
 1. Contraction joints shall be placed at 10' intervals, except that a 15' spacing may be used when a machine is used.
 2. Joint spacing may be altered if required by the engineer.
 3. Contraction joints may be installed by the use of templates or formed by other approved methods. Where such joints are not formed by templates, a minimum depth of 1 1/2" shall be obtained.
 4. All construction joints shall be filled with joint filler and sealer as directed by Town Engineer.
 5. Expansion joints shall be spaced at 90' intervals, and adjacent to all rigid objects.
 6. Concrete to be a minimum of 3,000 PSI @ 28 days, air entrained.
 7. Spill sections will be approved on a case-by-case basis by Town Engineer.

TOWN of CLAYTON
 USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY
TYPICAL CONCRETE SIDEWALK AND EXPANSION JOINT DETAIL
 SCALE: Not To Scale DETAIL # 404.03
 REVISION DATE: July, 2010 SHEET # 1 of 1

TYPICAL SIDEWALK with UTILITY STRIP
TYPICAL EXPANSION JOINT DETAIL

NOTES:
 1. Provide 1" deep tooled traverse structural score joint with 1/8" radius at 5'-0" o.c.
 2. 1/2" preformed asphalt impregnated expansion strip joints to be placed 40'-0" o.c. longitudinally, adjacent to curbs, when butting existing structures, concrete, or buildings, and at changes in width.

TOWN of CLAYTON
 USE WITH THE TOWN OF CLAYTON STANDARD SPECIFICATIONS ONLY
ACCESSIBLE CURB RAMPS
 SCALE: Not To Scale DETAIL # 402.01
 REVISION DATE: July, 2010 SHEET # 1 of 1

TYPE 1
TYPE 2
TYPE 3

NOTES:
 RAMPS DEVELOPED IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA)
 THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE OF CONTRASTING COLOR TO SIDEWALK.
 NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1:12 (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET. SEE GRADING FOR ADDITIONAL INFORMATION.
 NO RAMPS OR SIDEWALK SHALL BE LESS THAN 48" WIDE. REFER TO STAKING SHEETS FOR ALL SIDEWALK AND RAMP WIDTHS.
 ALL CONCRETE SHALL BE 4,000 PSI @ 28 DAYS.
 CURB RAMPS SHALL BE PARALLEL TO THE DIRECTION OF TRAVEL.
 EXPANSION JOINTS SHALL BE INSTALLED FULL DEPTH WHEN EXISTING OR OVER AND GUTTER.
 CROSS SLOPE NOT TO EXCEED 2% ON ANY PORTION OF RAMP OR TRANSITION TO STREET.
 NO RAMP SHALL EXCEED 8.33% (12:1) SLOPE.
 CROSS SLOPE SHALL BE MAX 2%.
 ALL RAMPS SHALL HAVE A 4" MIN. LANDING WITH A MAX SLOPE OF 2% WHERE PEDESTRIANS PERFORM TURNING. ENDS TO PITCH TOWARDS GUTTER.
 DETECTABLE WARNING DOMES SHALL BE INSTALLED AT FULL WIDTH OF RAMP.
 SEE CONCRETE SIDEWALK DETAIL FOR ADDITIONAL INFORMATION.
 DOMES SUBMITTAL SHALL BE SUBMITTED TO DESIGN TEAM PRIOR TO INSTALLATION FOR COLOR SELECTION.

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TOWN of CLAYTON
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CONCRETE CURB AND GUTTER SECTIONS
 SCALE: Not To Scale DETAIL # 402.01
 REVISION DATE: July, 2010 SHEET # 2 of 2

FENCE POST ANCHORING
ORNAMENTAL STEEL FENCE

NOTES:
 1. SEE STAKING PLAN FOR PRE-K PANIC HARDWARE IF APPLICABLE. SEE SPEC SECTION 323119 FOR ADDITIONAL INFORMATION. ALL FENCING SHALL HAVE A SECURING LATCH FOR THE MORE STURDY OCCUPY THE SPACE IN ADDITION TO THE PANIC HARDWARE.
 2. REFER TO SPECIFICATION SECTION 323119 FOR ASSEMBLY AND MATERIALS OR PER MANUFACTURER'S RECOMMENDATIONS.
 3. ALL BOLTS SHALL BE CUT FLUSH TO NUT AND PAINTED TO MATCH FENCE.
 4. GATES WIDER THAN 5'-0" SHALL BE DOUBLE.
 5. ALL FENCING FOR PRE-K MUST COMPLY WITH NC GENERAL STATUTE 110-91(6) AND CHILD CARE RULE .0605
 6. FENCE PICKETS MUST BE LESS THAN 3-1/2"
 7. BOTTOM RAIL SHALL BE NO GREATER THAN 2" FROM THE FINISHED GRADE.
 8. FENCE SHALL BE AMERSTAR MONTAGE PLUS (COMMERCIAL GRADE) IN BLACK OR APPROVED EQUAL.

FENCE POST IN SIDEWALK
FENCE IN CONCRETE BAND

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 SCALE: Not To Scale DETAIL # 402.01
 REVISION DATE: July, 2010 SHEET # 2 of 2

CONCRETE FLUME 2
CONCRETE CURB AND GUTTER SECTIONS

NOTES:
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 3. CONTRACTION JOINTS SHALL BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1-1/2" SHALL BE OBTAINED.
 4. ALL JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER.

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BLACK VINYL COATED CHAIN LINK FENCE AND GATE

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ACCESSIBLE PARKING SIGNAGE AND CONCRETE WHEELSTOP

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 SCALE: Not To Scale DETAIL # 402.01
 REVISION DATE: July, 2010 SHEET # 2 of 2

CONCRETE FLUME 2
CONCRETE CURB AND GUTTER SECTIONS

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CONCRETE CURB AND GUTTER SECTIONS
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ACCESSIBLE PARKING SIGNAGE AND CONCRETE WHEELSTOP

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 rethink, repurpose, results

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 CHARLOTTE: 1330 W. Morehead St., Suite 214, Charlotte, NC 28208 704/731-3000
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 400 Regency Forest Drive, Suite 150, Cary, North Carolina 27518
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 Fax: (919)319-7518
 LA: C-106, PE: C-1585

COOPER ACADEMY A & R

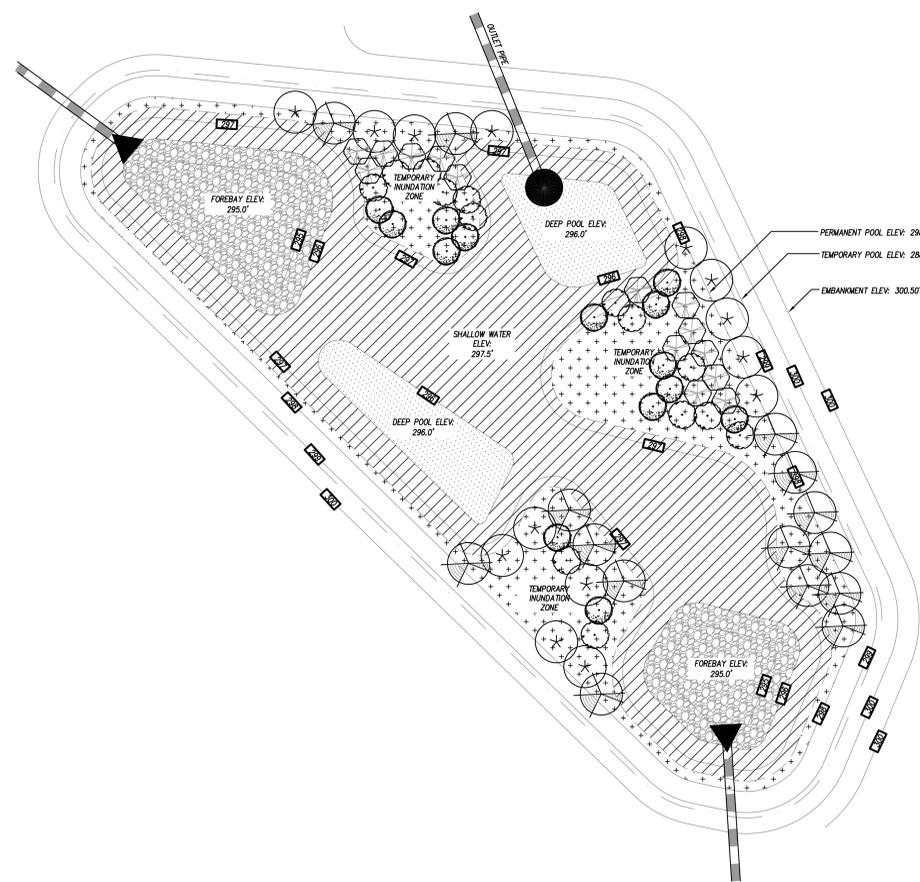
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Town of Clayton Planning Department
 Planning Director:
 Official Document
 This document has been reviewed by the Town of Clayton and to the best of our knowledge and belief, conforms to all laws, ordinances, policies and specifications that are applicable. Approval by the Town shall not release the Applicant and/or Design Professional from the responsibility for compliance of design or construction with the plan and specifications and meeting all applicable standards and regulations.

BID DOCUMENTS
 PROJECT PHASE
2307
 BOOMERANG DESIGN PROJECT NUMBER
02.07.24
 DRAWING RELEASE DATE

DETAILS
 SHEET TITLE
C704
 SHEET



NOTES

1. WETLAND AREA SHALL BE DRAINED ONE DAY PRIOR TO PLANTING.
2. LANDSCAPE ARCHITECT TO APPROVE ALL LOCATIONS IN FIELD.
3. PLACE PLANTINGS IN DESIGNATED AREA BY SPECIES IN GROUPINGS OF 40 PLANTS OR MORE.
4. SODDED AREA SHALL NOT BE MOWED AT SIDE SLOPES.
5. SEE PLANTING SPECIFICATIONS SECTION 32.80.00 FOR WARRANTY PERIODS.
6. ALL AREAS INDICATED AS LAWN ON LANDSCAPE PLAN TO BE PERMANENTLY STABILIZED AND ESTABLISHED AS IN SPECIFICATIONS PRIOR TO ACCEPTANCE OF THE WETLANDS, INCLUDING THE EMBANKMENT, ACCESS AND MAINTENANCE EASEMENT, AND ASSOCIATED SLOPES.

WETLAND SOIL MIX

- ADD 12" OF TOPSOIL THROUGHOUT STORMWATER WETLAND AREA. TOPSOIL SHALL BE PLACED WITHIN THE SHALLOW LAND, SHALLOW WATER AND DEEP POOL AREAS AND ADHERE TO THE FOLLOWING REQUIREMENTS:
1. THE SOIL MUST BE UNIFORM AND FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR MATERIAL GREATER THAN 2" INCHES.
 2. SOIL TEXTURE SHALL BE A LOAMY SAND, WITH NO MORE THAN 10% CLAY (USDA SOIL TEXTURAL CLASSIFICATION).
 3. A MINIMUM ORGANIC CONTENT OF 10% BY DRY WEIGHT.
 4. THE PH SHALL BE BETWEEN 5.5 AND 7.0.

SCM (P) WETLAND PLANT LIST

TEMPORARY INUNDATION ZONE - SHRUBS

KEY	KEY	QTY	PLANT NAME	SIZE
(Symbol)	CO	14	CEPHALANTHUS OCCIDENTALIS - BUTTONBUSH	3-GAL CONT.
(Symbol)	SC	14	SAMBUCUS CANADENSIS - ELDERBERRY	PLANT 5' O.C.
(Symbol)	CA	14	CLETHRA ALNIFOLIA - SWEET PEPPERBUSH	
(Symbol)	IT	14	ITEA VIRGINICA 'HENRY'S GARNET' - SWEETSPIRE	
(Symbol)	AA	14	AROMA ARBUTIFOLIA 'BRILLIANTISSIMA' - CHOKEBERRY	

TEMPORARY INUNDATION ZONE - HERBACEOUS

(Symbol)	AS	45	ASCLEPIAS INCARNATA - SWAMP MILKWEED	LARGE PLUGS (MIN. 6 CUBIC INCHES) SPACE 2' O.C.
(Symbol)	IV	45	IRIS VIRGINICA - BLUE FLAG IRIS	
(Symbol)	HM	50	HIBISCUS MOSSCHEUTOS - MARSH HIBISCUS	2,305 SF

SHALLOW WATER ZONE - HERBACEOUS

(Symbol)	PV	132	PELTANDRIA VIRGINIANA - ARROW ARUM	LARGE PLUGS (MIN. 6 CUBIC INCHES) SPACE 2' O.C.
(Symbol)	PC	132	PONTEDERIA COREATA - PICKEREL WEED	
(Symbol)	AB	132	ACORUS SUBCORDATUM - SWEETFLAG	
(Symbol)	SC	132	SAURURUS CERNUIS - LIZARD'S TAIL	
(Symbol)	JE	132	JUNCUS EFFUSUS - SOFT RUSH	2,640 SF

DEEP POOL AND MICRO POOL

(Symbol)	SD	30	SAOTTARA LATIFOLIA - BROADLEAF ARROWHEAD	LARGE PLUGS (MIN. 6 CUBIC INCHES)
(Symbol)	SD	30	NUPHAR LUTEA - SPATTERDOCK / YELLOW POND-LILY	
(Symbol)	SD	30	NYMPHAEA COORATA - WHITE LILY	
(Symbol)	SD	30	NELEMBU LUTEA - AMERICAN LOTUS	486 SF

SHALLOW LAND/TEMP. INUNDATION ZONE PLANTS: 2,305 SF / 200 SF X 50 = 577 HERBACEOUS PLANTS REQUIRED (OR) 2,305 SF / 200 SF X 8 = 93 SHRUBS REQUIRED

70 SHRUBS PROVIDED (70 / 8 X 200 = 1,750 SF)
140 HERBACEOUS PROVIDED (140 / 50 X 200 = 560 SF)
1,750 SF + 560 SF = 2,310 SF ACCOUNTED FOR

SHALLOW WATER PLANTS: 2,640 SF / 200 SF X 50 = 660 HERBACEOUS PLANTS REQUIRED
SHALLOW WATER PLANTS: 660 HERBACEOUS PLANTS PROVIDED

SD0 - TIFU F BERMUDA

SCM-1: CONSTRUCTED WETLAND

1" = 10'-0"

COOPER ACADEMY A & R

PROJECT TITLE

"CLIENT'S PROJECT" # - XXX



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3. DO NOT SCALE OFF DIMENSIONS.

REVISIONS

NO.	DATE	DESCRIPTION
1	2/20/24	ADDENDUM #1
2	2/27/24	ADDENDUM #2

Town of Clayton Planning Department

Planning Director:

Official Document

This document has been reviewed by the Town of Clayton and to the best of our knowledge and belief, conforms to all laws, ordinances, policies and specifications that are applicable. Approval by the Town shall not relieve the Registered Professional Engineer from the responsibility for adequate design or for errors or omissions in the plans and specifications and meeting all applicable standards and regulations.

BID DOCUMENTS
PROJECT PHASE
2307
BOOMERANG DESIGN PROJECT NUMBER
02.07.24
DRAWING RELEASE DATE

DETAILS

SHEET TITLE
C707
SHEET