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OVERALL EXISTING CONDITIONS KEY

C-100

SHEET TITLE:

DATE: DRAWN: CHECKED:

MARCH 21, 2024 THR

AMW

PROJECT NO:

100% CONSTRUCTION DOCS

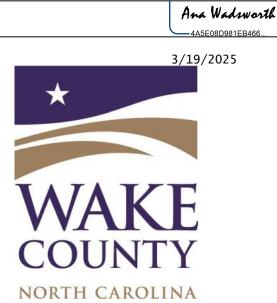
REVISION DATE NO. 1 RESUBMISSION- SITE PLAN 11/08/2024

KEY MAP





COUNTY PARK



CLIENT

WWW.THEWOOTENCOMPANY.COM

REGISTRATION

120 N. BOYLAN AVENUE RALEIGH, NC 27603

CIVIL ENGINEER

THE WOOTEN COMPANY

WWW.INSITUSTUDIO.US

IN SITU STUDIO 704 N. PERSON STREET

CONSULTANTS

ARCHITECT

RALEIGH, NC 27604

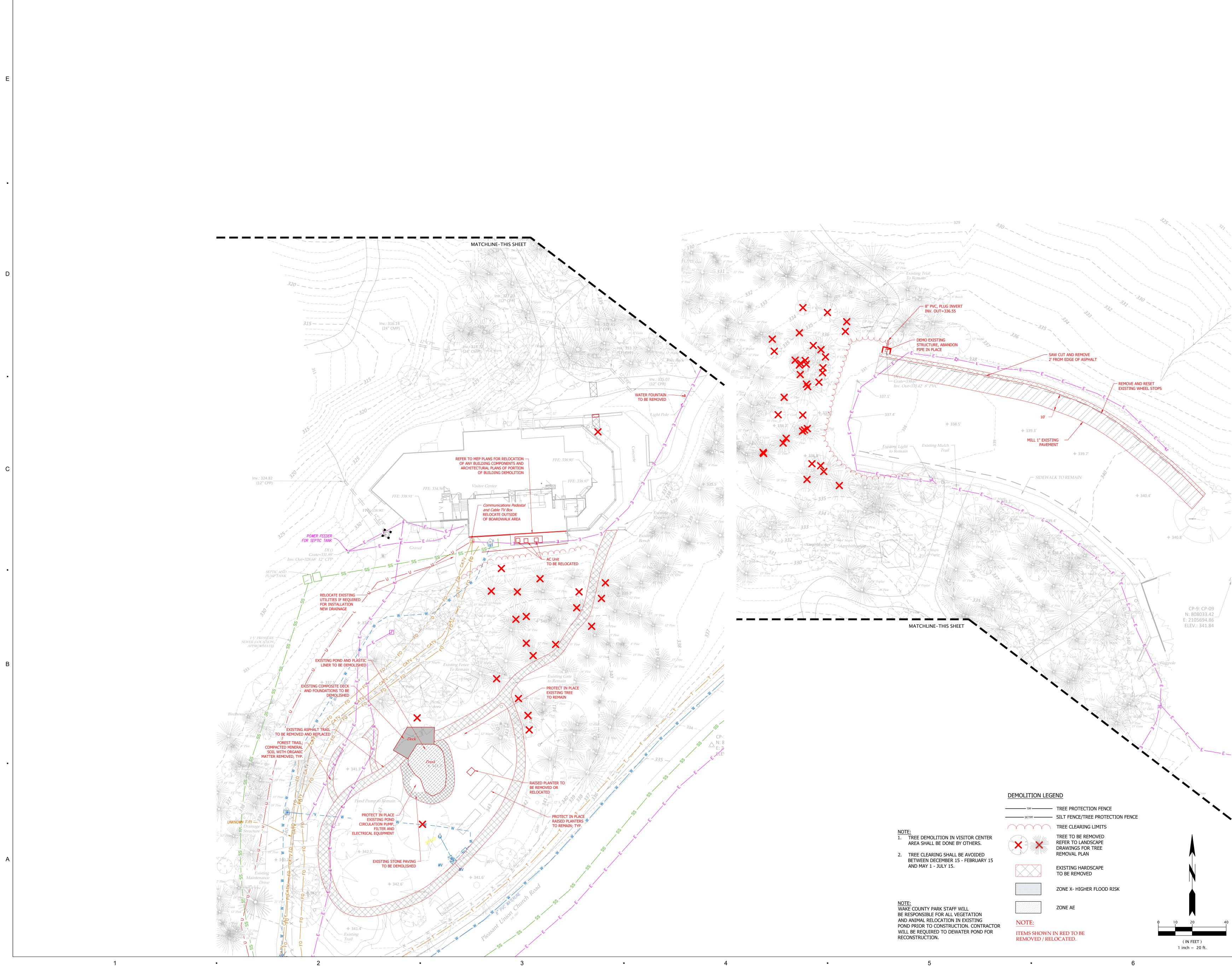


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DEMOLITION PLAN VISITOR'S CENTER

C-101

SHEET TITLE:

PROJECT NO: DATE: DRAWN: CHECKED:

MARCH 21, 2024 THR

AMW

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ISSUE:

NO.	REVISION	DATE
1	RESUBMISSION- SITE PLAN	11/08/2024

KEY MAP





COUNTY PARK



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THE WOOTEN COMPANY

ARCHITECT IN SITU STUDIO

CONSULTANTS

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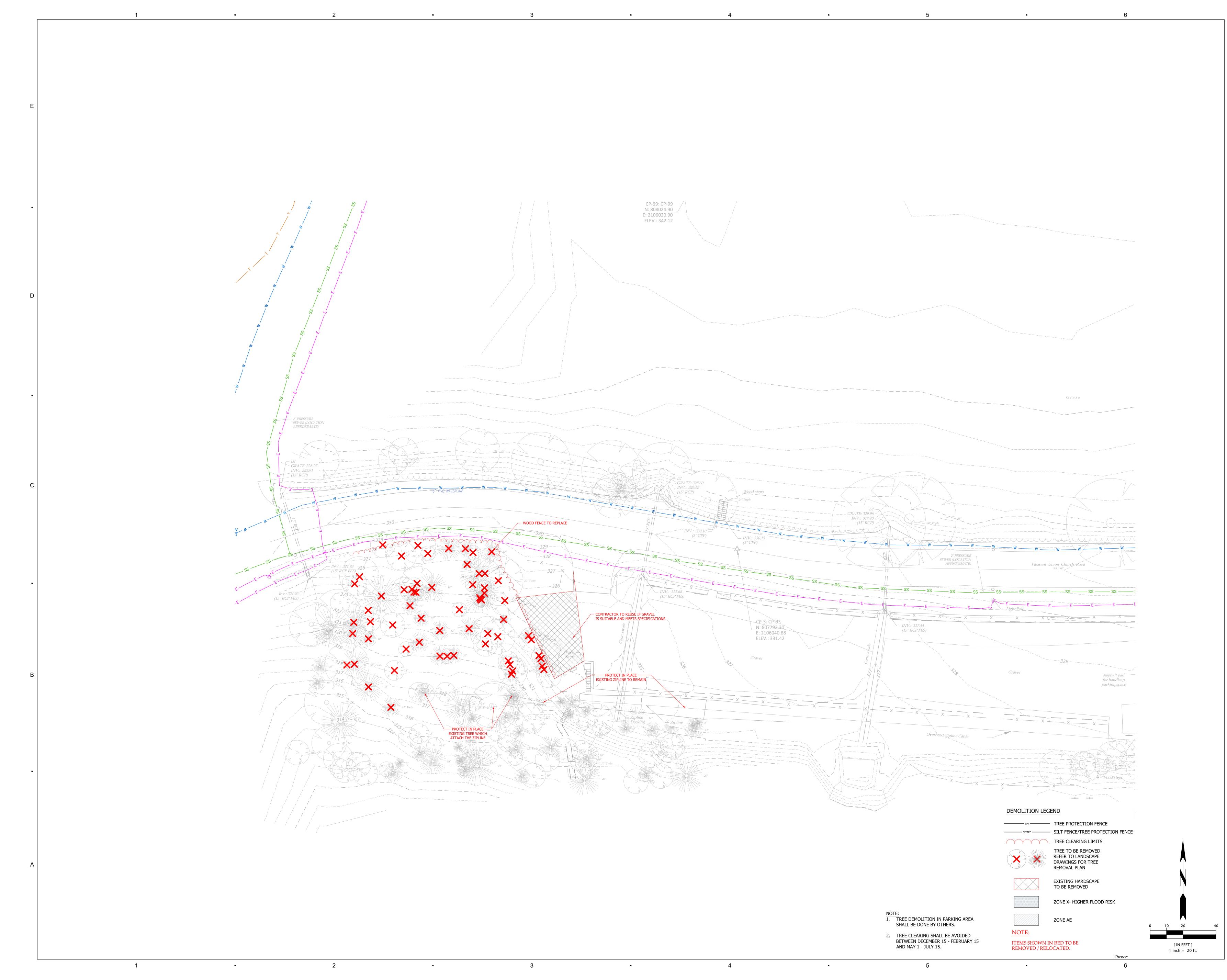
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704 N. PERSON STREET RALEIGH, NC 27604 WWW.INSITUSTUDIO.US

REGISTRATION





DEMOLITION PLAN MAIN

PROJECT NO:	
DATE:	MARCH 21, 2024
DRAWN:	THR
CHECKED:	AMW
SHEET TITLE:	

ISSUE: 100% CONSTRUCTION DOCS

NO.	REVISION	DATE
1	RESUBMISSION- SITE PLAN	11/08/2024

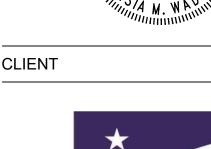
3200 PLEASANT UNION CHURCH ROAD

KEY MAP

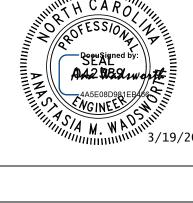
COUNTY PARK



WAKE



CLIENT



CONSULTANTS

ARCHITECT IN SITU STUDIO 704 N. PERSON STREET

WWW.INSITUSTUDIO.US

CIVIL ENGINEER

THE WOOTEN COMPANY 120 N. BOYLAN AVENUE RALEIGH, NC 27603

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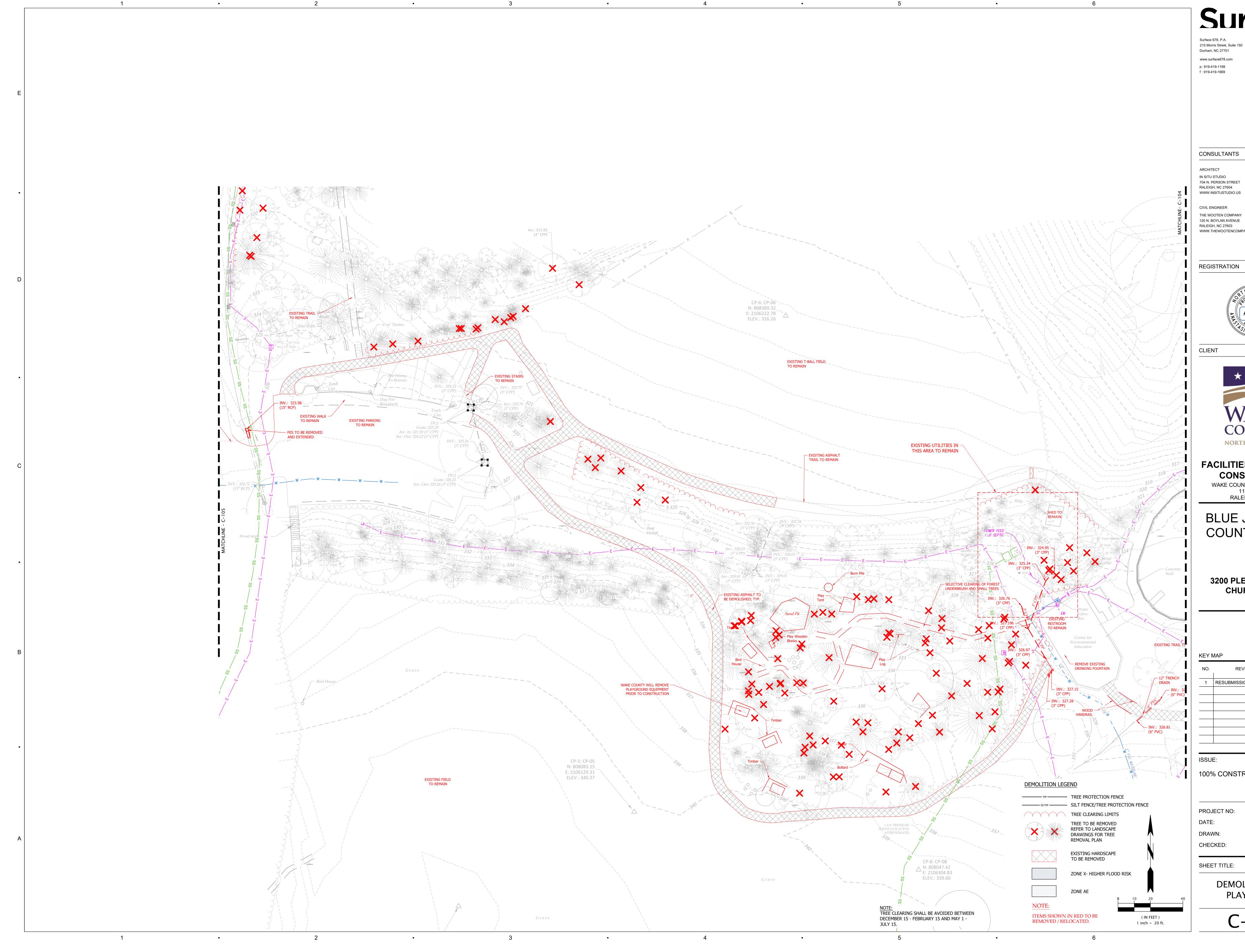
REGISTRATION

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DEMOLITION PLAN

C-103

PROJECT NO: DATE: MARCH 21, 2024 DRAWN: THR CHECKED: AMW

ISSUE: 100% CONSTRUCTION DOCS

NO.	REVISION	DATE
1	RESUBMISSION- SITE PLAN	11/08/2024

KEY MAP

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BLUE JAY POINT

COUNTY PARK



CLIENT

704 N. PERSON STREET RALEIGH, NC 27604 WWW.INSITUSTUDIO.US

RALEIGH, NC 27603

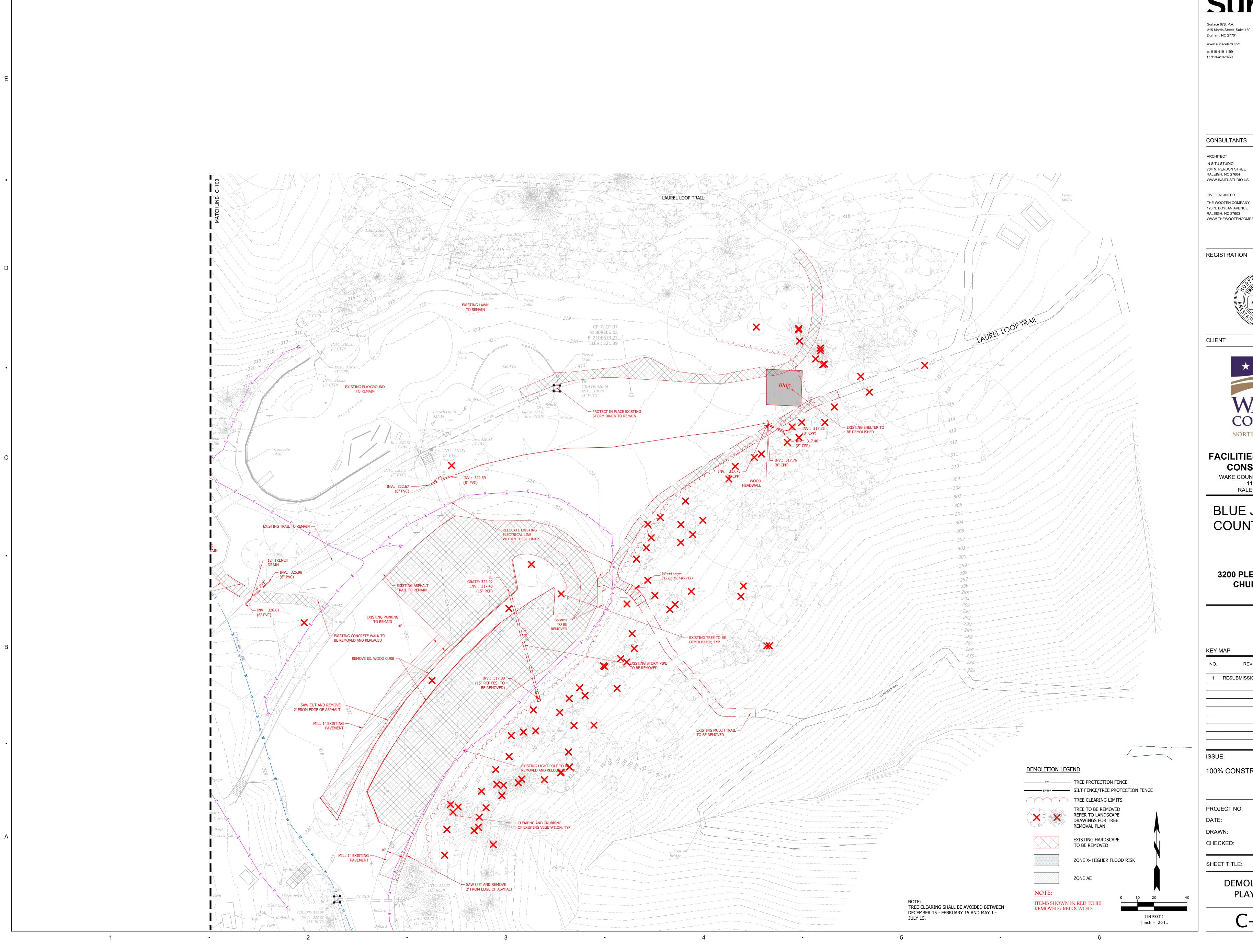
CIVIL ENGINEER

THE WOOTEN COMPANY 120 N. BOYLAN AVENUE

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REGISTRATION

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DEMOLITION PLAN

C-104

PROJECT NO: MARCH 21, 2024 DATE: DRAWN: THR CHECKED: AMW SHEET TITLE:

ISSUE: 100% CONSTRUCTION DOCS

NO.	REVISION	DATE
1	RESUBMISSION- SITE PLAN	11/08/2024

KEY MAP





BLUE JAY POINT

COUNTY PARK



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REGISTRATION

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THE WOOTEN COMPANY 120 N. BOYLAN AVENUE RALEIGH, NC 27603

IN SITU STUDIO 704 N. PERSON STREET

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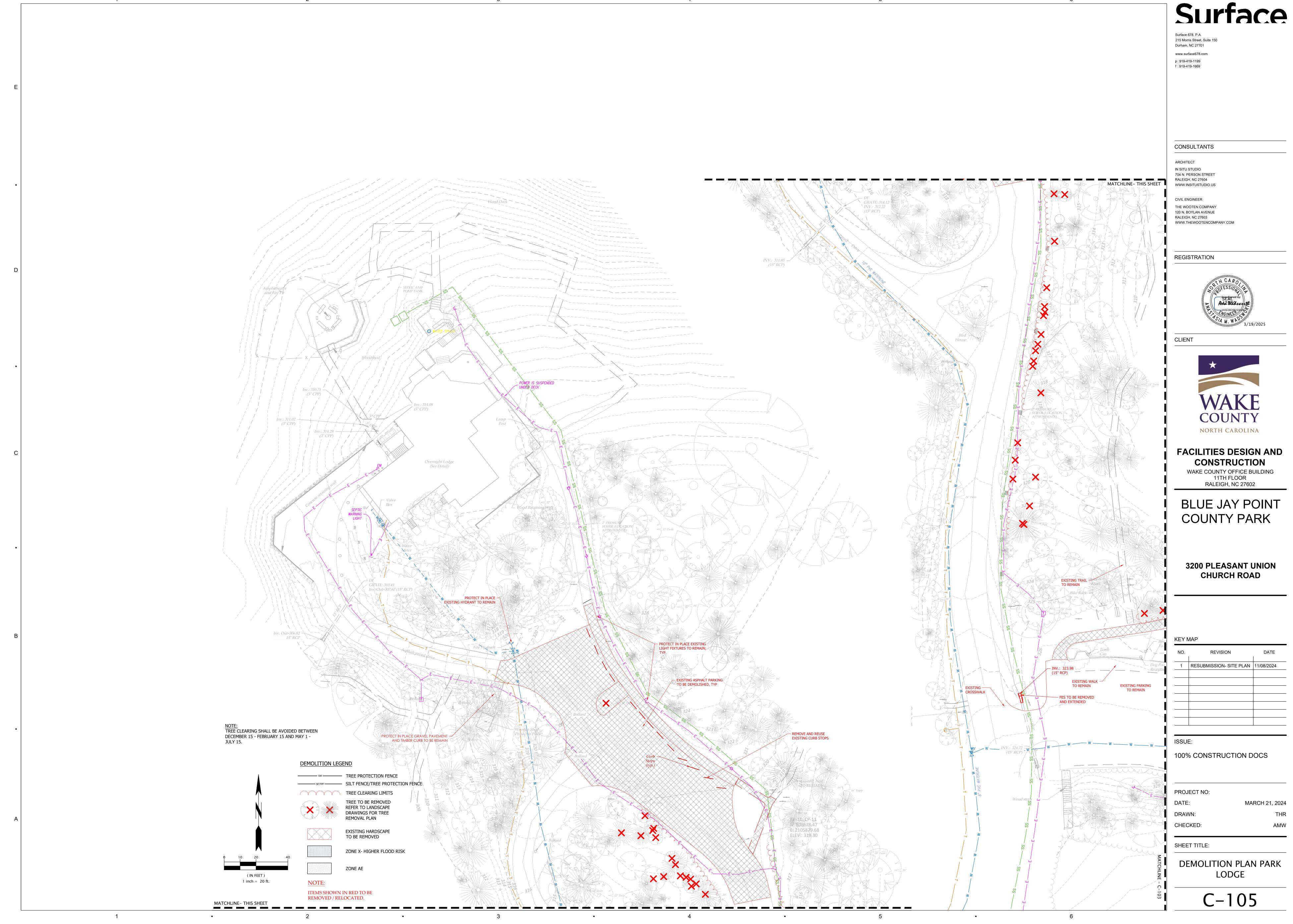
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HEET TITLE:
DEMOLITION PLAN PARK LODGE
C-105

PROJECT NO: MARCH 21, 2024 DATE: DRAWN: THR CHECKED: AMW

ISSUE: 100% CONSTRUCTION DOCS

NO.	REVISION	DATE
1	RESUBMISSION- SITE PLAN	11/08/2024

3200 PLEASANT UNION CHURCH ROAD

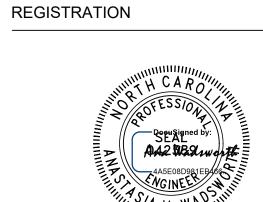
BLUE JAY POINT

COUNTY PARK





CLIENT



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CIVIL ENGINEER THE WOOTEN COMPANY 120 N. BOYLAN AVENUE

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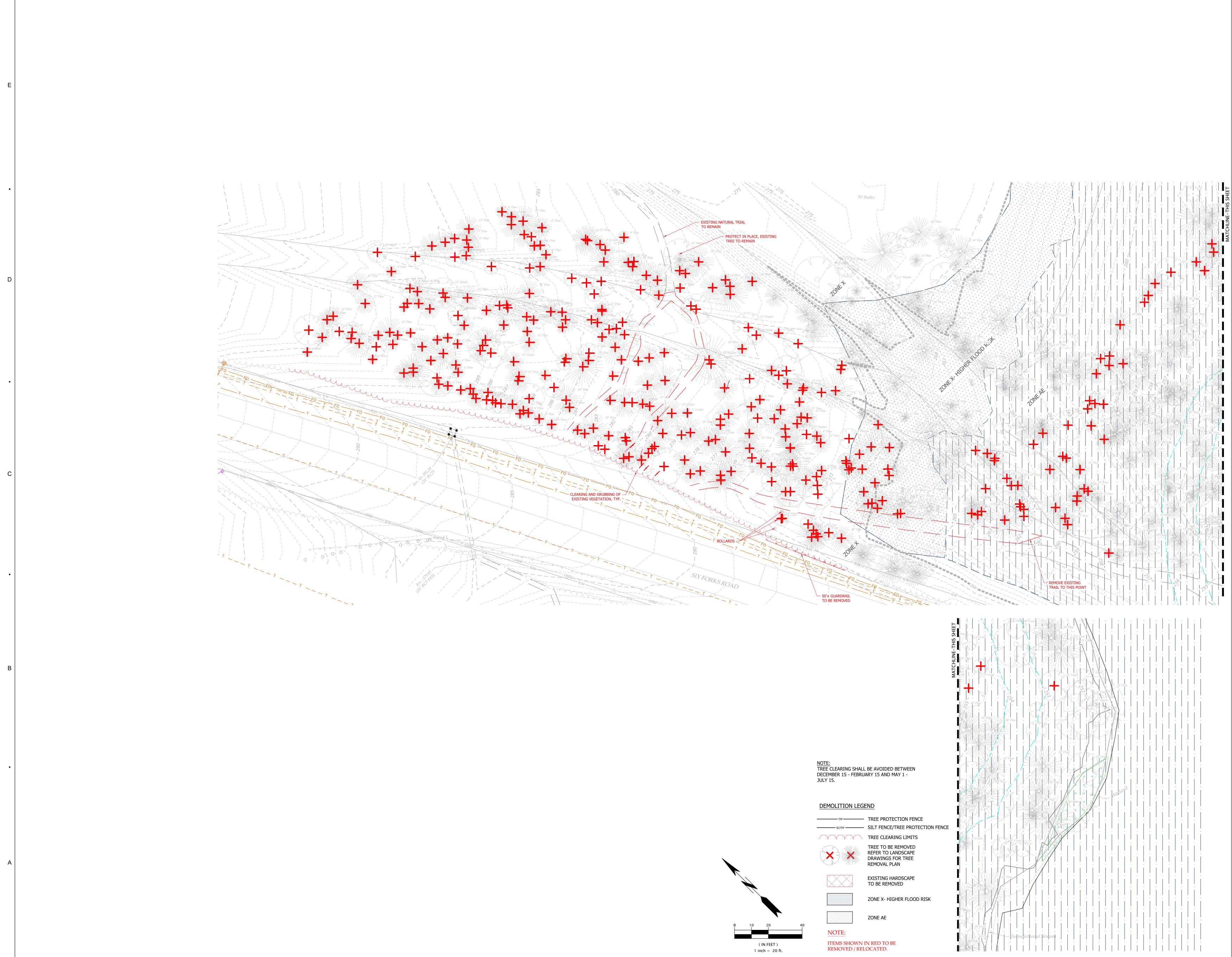
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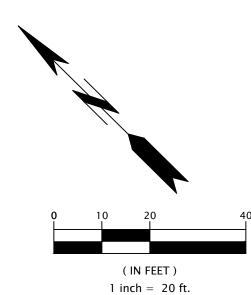
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C-106

DEMOLITION PLAN

PROJECT NO: MARCH 21, 2024 DATE: DRAWN: THR CHECKED: AMW SHEET TITLE:

ISSUE: 100% CONSTRUCTION DOCS

NO.	REVISION	DATE
1	RESUBMISSION- SITE PLAN	11/08/2024

KEY MAP





BLUE JAY POINT

COUNTY PARK



CLIENT

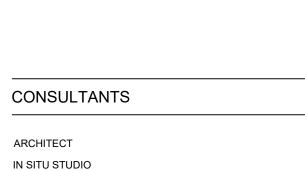
REGISTRATION

RALEIGH, NC 27604 WWW.INSITUSTUDIO.US

704 N. PERSON STREET

CIVIL ENGINEER

THE WOOTEN COMPANY 120 N. BOYLAN AVENUE RALEIGH, NC 27603 WWW.THEWOOTENCOMPANY.COM



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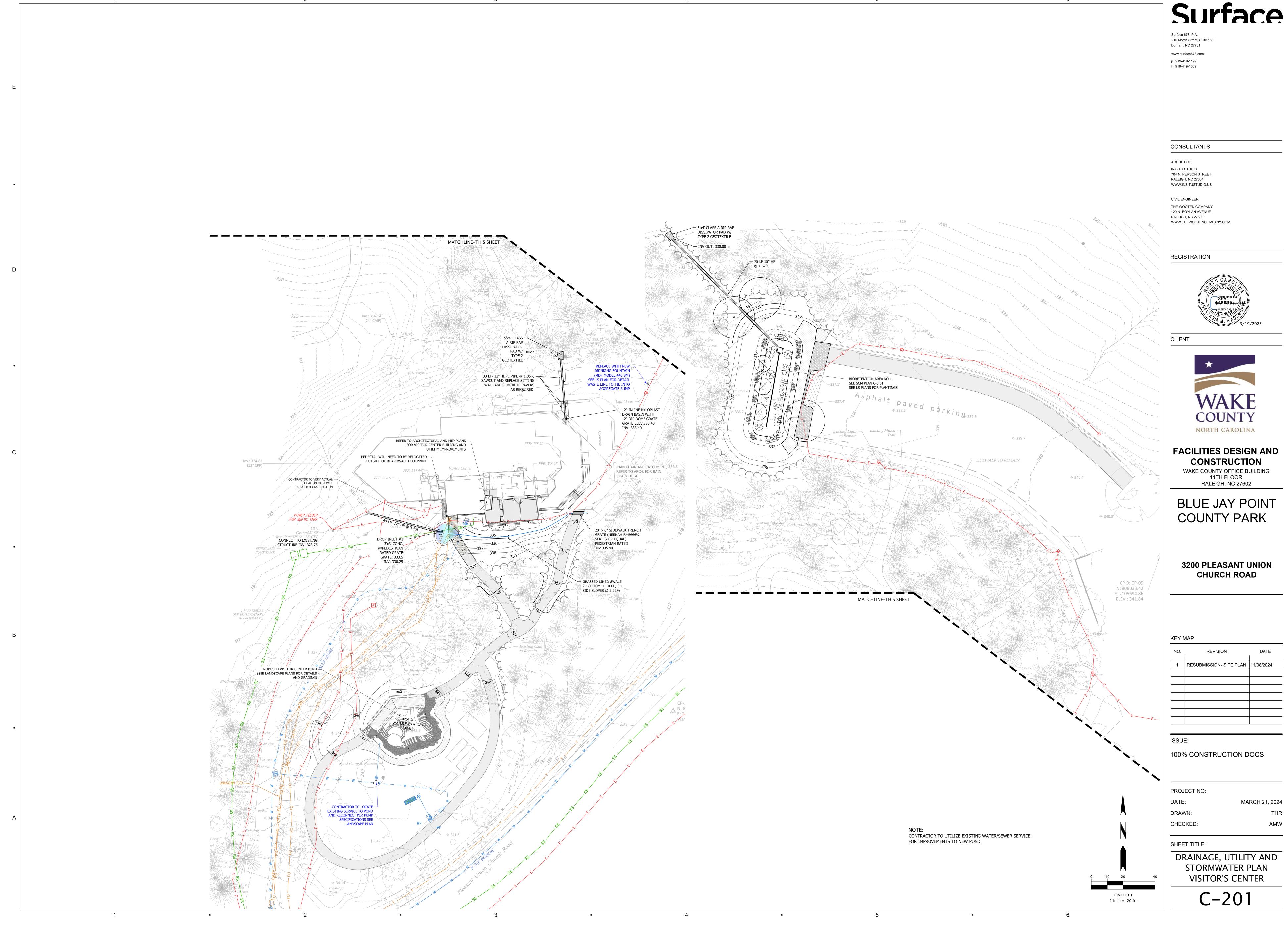
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PROJECT NO:	
DATE:	MARCH 21, 2024
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100% CONSTRUCTION DOCS

NO.	REVISION	DATE
1	RESUBMISSION- SITE PLAN	11/08/2024



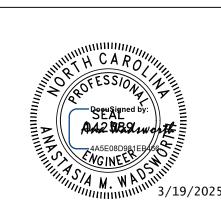
3200 PLEASANT UNION CHURCH ROAD

BLUE JAY POINT

COUNTY PARK



CLIENT -----



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RALEIGH, NC 27603

CIVIL ENGINEER THE WOOTEN COMPANY 120 N. BOYLAN AVENUE

CONSULTANTS ARCHITECT

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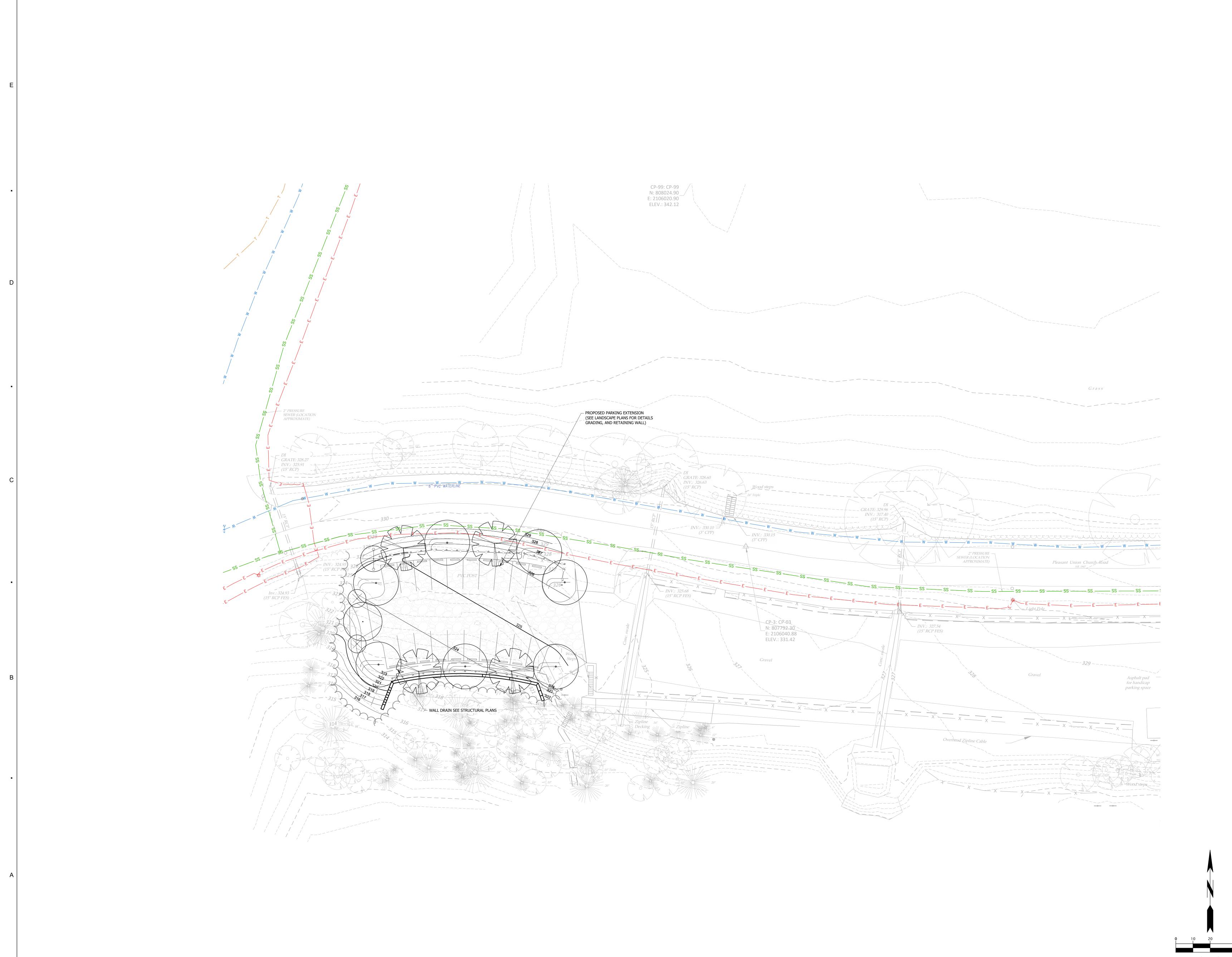
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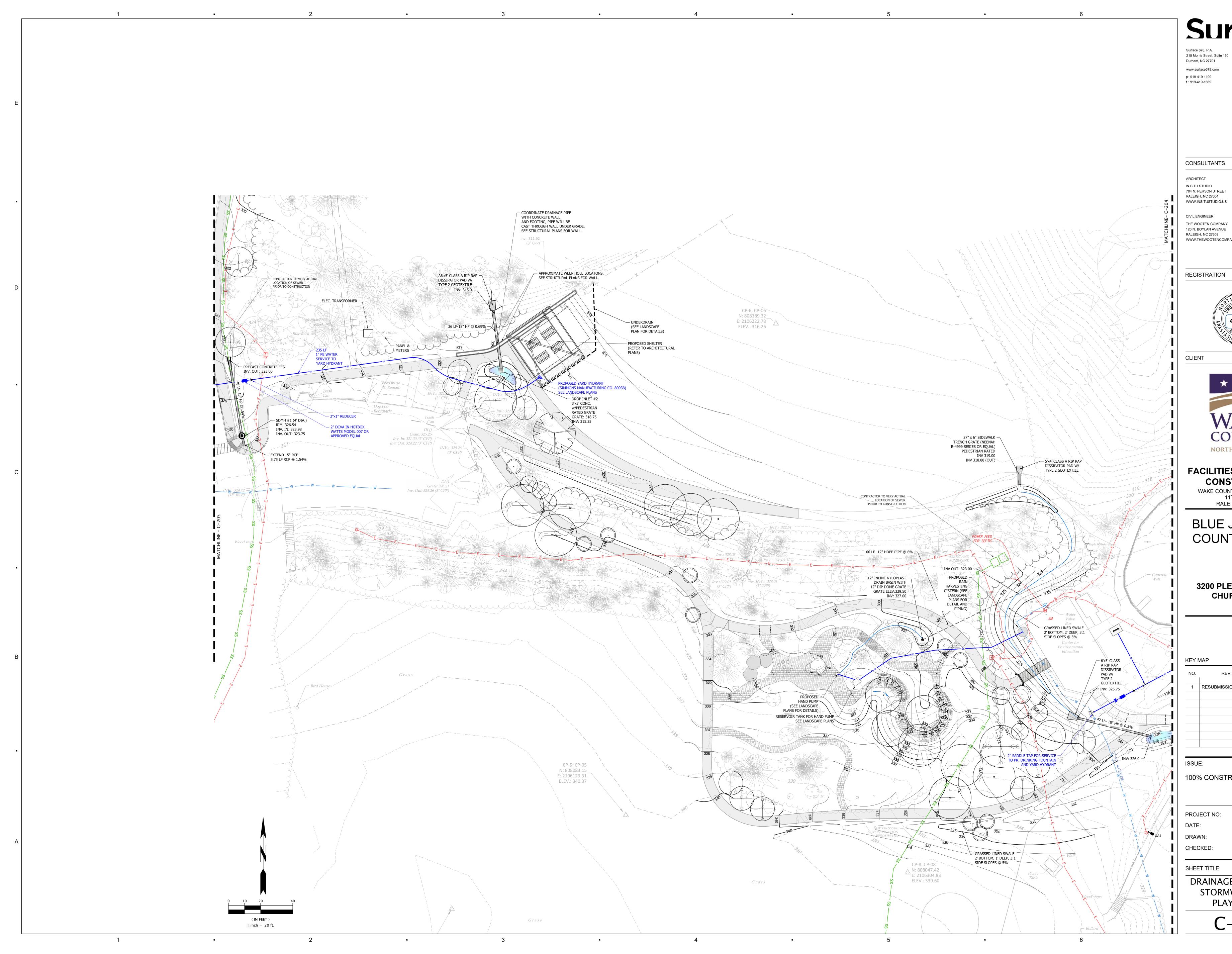
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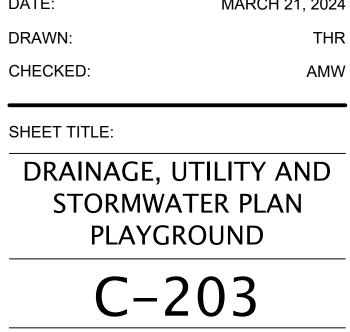
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(IN FEET) 1 inch = 20 ft.







PROJECT NO: MARCH 21, 2024 DATE: DRAWN:

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NO. 1 RESUBMISSION- SITE PLAN 11/08/2024

KEY MAP REVISION DATE

3200 PLEASANT UNION CHURCH ROAD



CONSTRUCTION

WAKE COUNTY OFFICE BUILDING 11TH FLOOR RALEIGH, NC 27602

BLUE JAY POINT

COUNTY PARK

CLIENT

ARCHITECT IN SITU STUDIO 704 N. PERSON STREET RALEIGH, NC 27604

WWW.INSITUSTUDIO.US

CIVIL ENGINEER THE WOOTEN COMPANY 120 N. BOYLAN AVENUE

RALEIGH, NC 27603

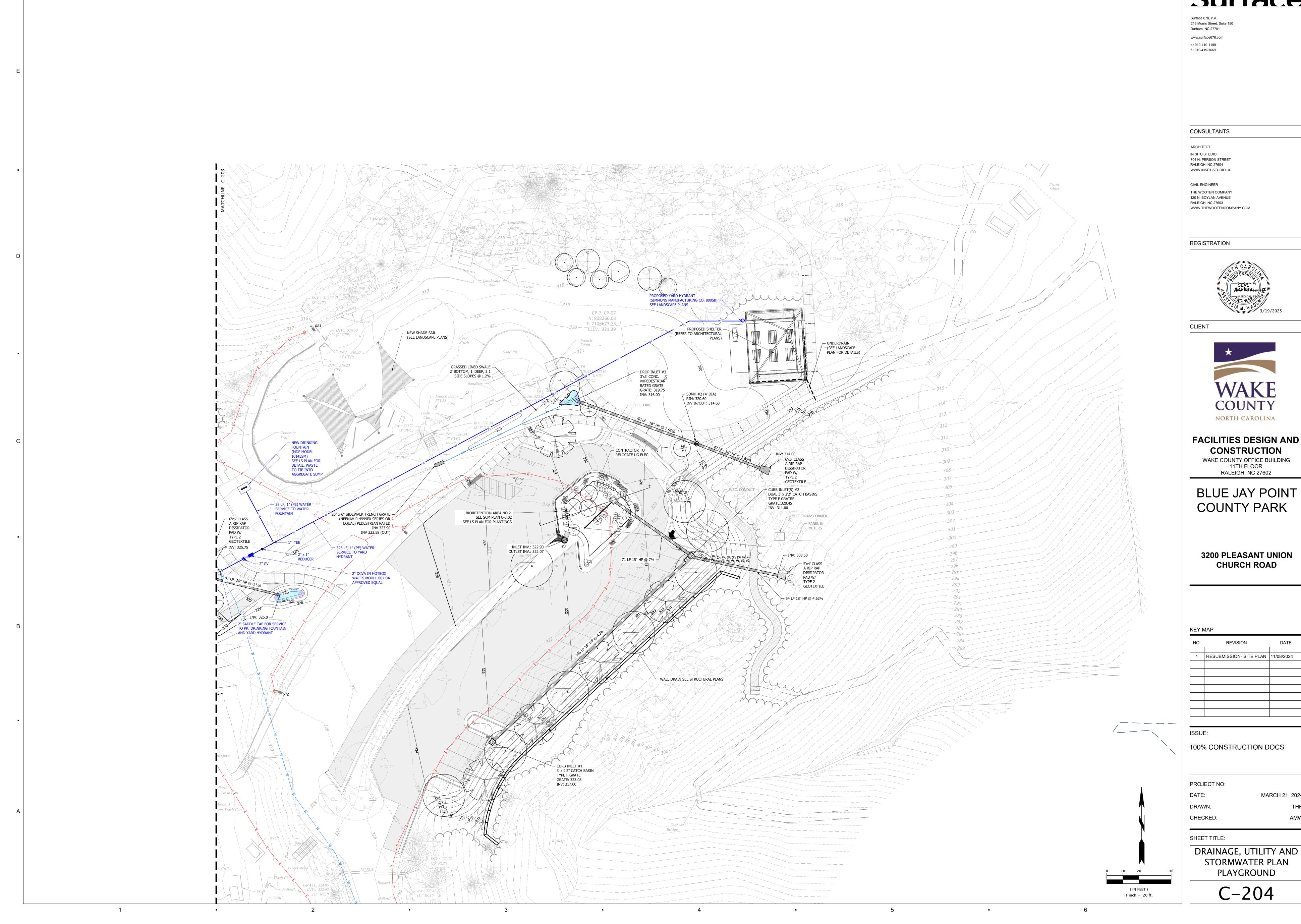
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REGISTRATION



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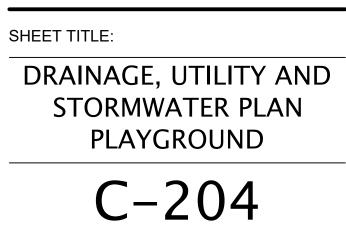
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PROJECT NO: MARCH 21, 2024 DATE: DRAWN: THR CHECKED: AMW

100% CONSTRUCTION DOCS

NO. REVISION DATE _____ 1 RESUBMISSION- SITE PLAN 11/08/2024 _____ _____

KEY MAP





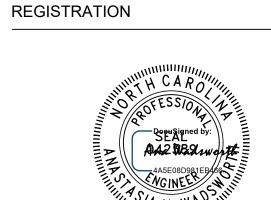
CONSTRUCTION

WAKE COUNTY OFFICE BUILDING 11TH FLOOR RALEIGH, NC 27602

BLUE JAY POINT

COUNTY PARK

CLIENT



RALEIGH, NC 27604 WWW.INSITUSTUDIO.US CIVIL ENGINEER

THE WOOTEN COMPANY

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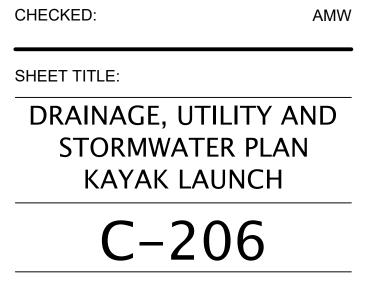
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MARCH 21, 2024

THR

PROJECT NO:

ISSUE: 100% CONSTRUCTION DOCS

NO. REVISION DATE _____ 1 RESUBMISSION- SITE PLAN 11/08/2024 _____ _____ _____

KEY MAP

DATE:

DRAWN:

3200 PLEASANT UNION CHURCH ROAD



FACILITIES DESIGN AND

CONSTRUCTION

WAKE COUNTY OFFICE BUILDING 11TH FLOOR RALEIGH, NC 27602

BLUE JAY POINT

COUNTY PARK

CLIENT

REGISTRATION

THE WOOTEN COMPANY 120 N. BOYLAN AVENUE

CIVIL ENGINEER

RALEIGH, NC 27603 WWW.THEWOOTENCOMPANY.COM

704 N. PERSON STREET RALEIGH, NC 27604 WWW.INSITUSTUDIO.US

ARCHITECT IN SITU STUDIO

CONSULTANTS

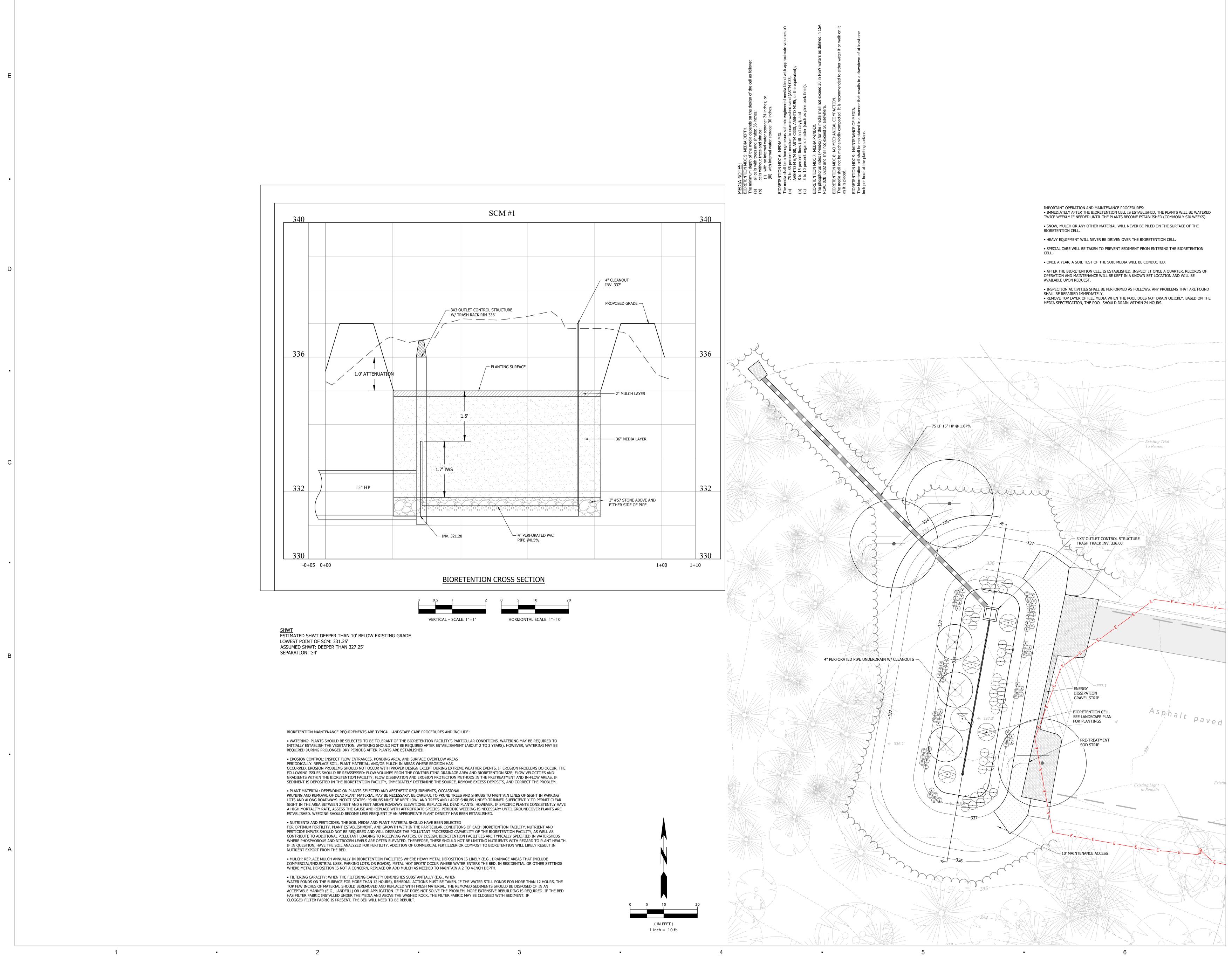
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215 Morris Street, Suite 150

Surface

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	VN:		THR AMW
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PROJ	ECT NO:		
100%	6 CONSTR	UCTION D	OCS
ISSU	E:		

CHURCH ROAD

REVISION

1 RESUBMISSION- SITE PLAN 11/08/2024

DATE

KEY MAP

NO.

3200 PLEASANT UNION

COUNTY PARK





REGISTRATION

RALEIGH, NC 27603 WWW.THEWOOTENCOMPANY.COM

CONSULTANTS ARCHITECT IN SITU STUDIO 704 N. PERSON STREET

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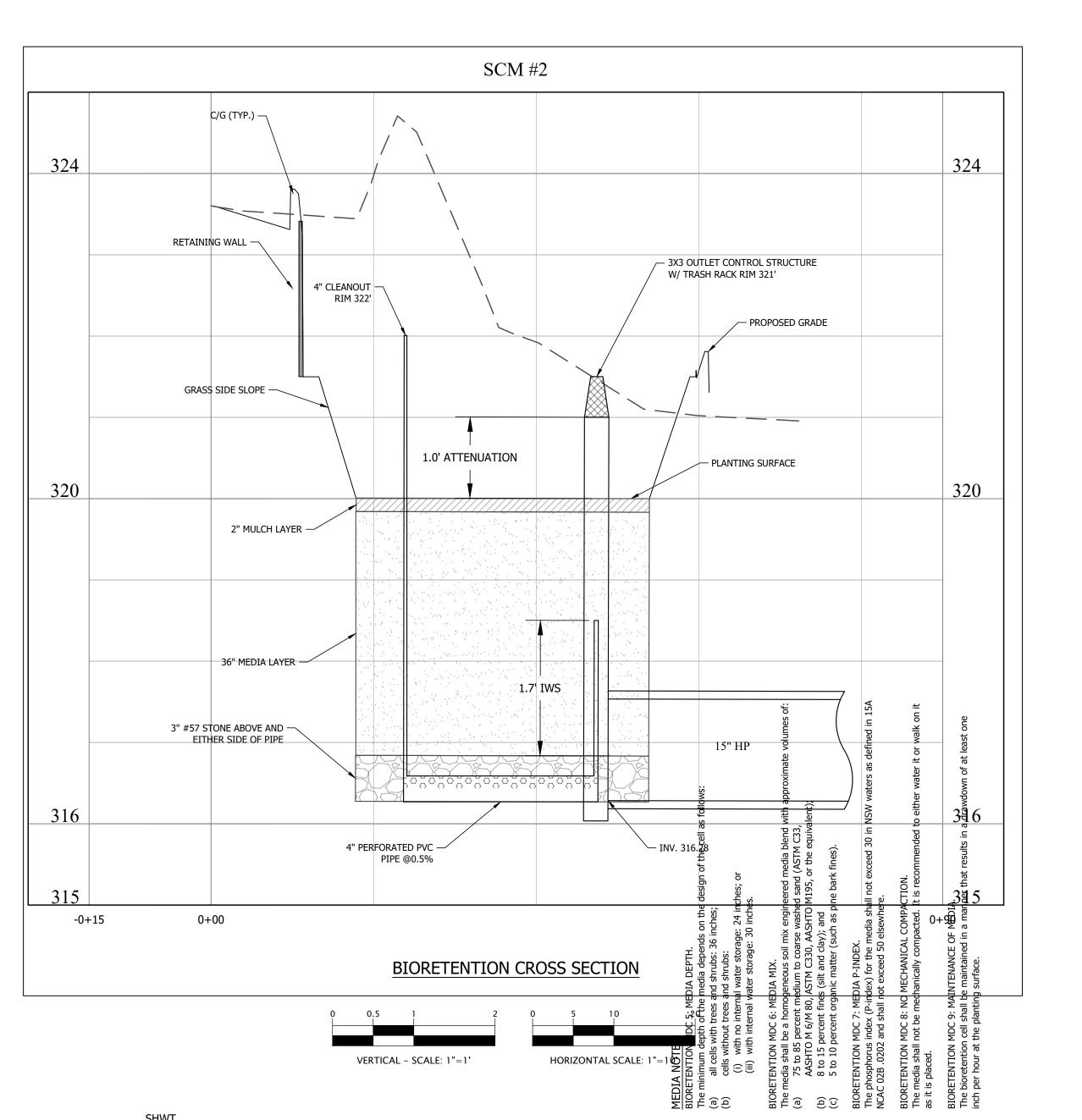
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RALEIGH, NC 27604 WWW.INSITUSTUDIO.US CIVIL ENGINEER THE WOOTEN COMPANY

120 N. BOYLAN AVENUE

Surface

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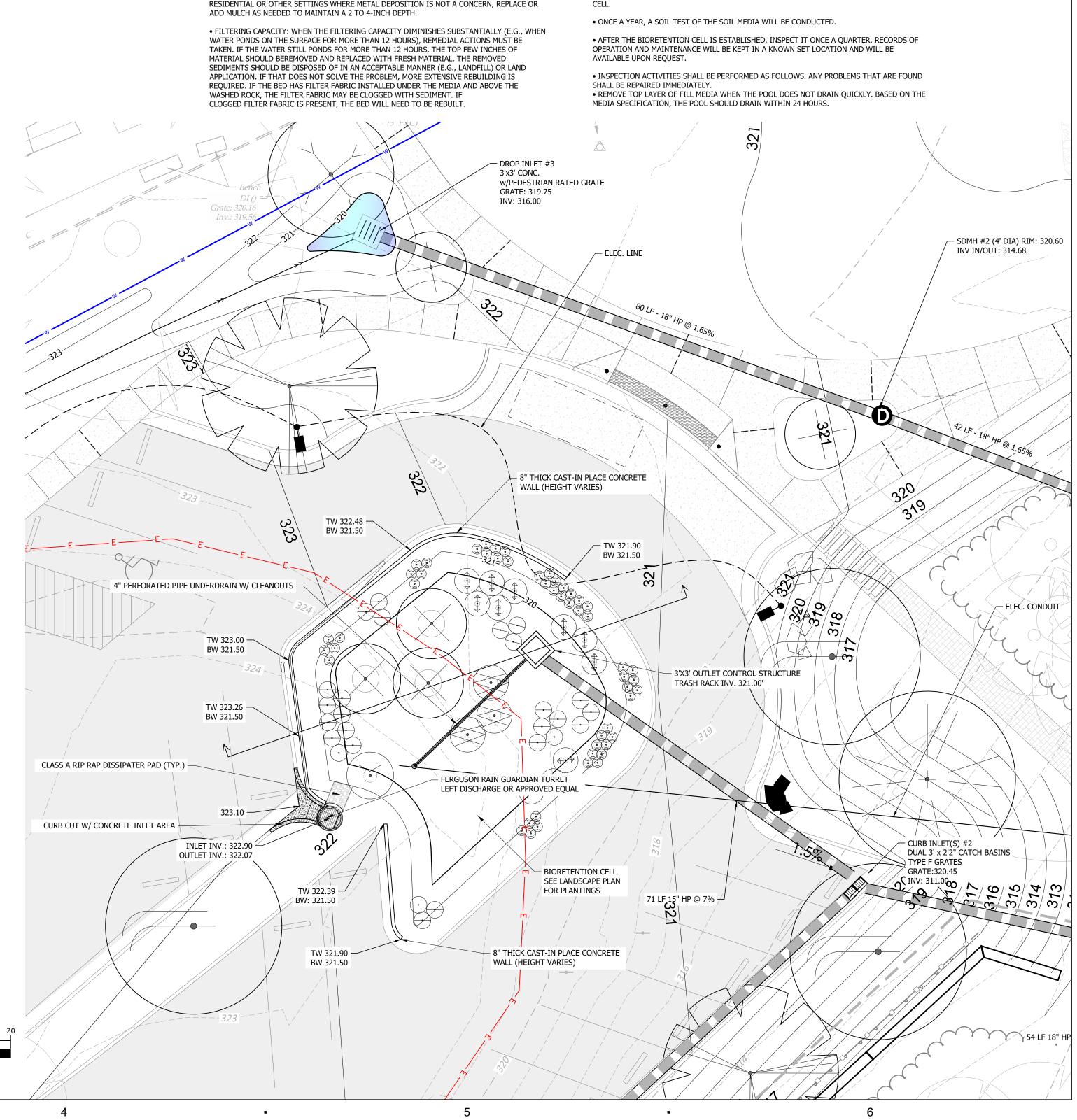
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<u>SHWT</u> ESTIMATED SHWT DEEPER THAN 10' BELOW EXISTING GRADE LOWEST POINT OF SCM: 316.25' ASSUMED SHWT: DEEPER THAN 313.50' SEPARATION: $\geq 2.75'$

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RECEIVING WATERS. BY DESIGN, BIORETENTION FACILITIES ARE TYPICALLY SPECIFIED IN WATERSHEDS WHERE PHOSPHOROUS AND NITROGEN LEVELS ARE OFTEN ELEVATED. THEREFORE. THESE SHOULD NOT BE LIMITING NUTRIENTS WITH REGARD TO PLANT HEALTH. IF IN QUESTION, HAVE THE SOIL ANALYZED FOR FERTILITY. ADDITION OF COMMERCIAL FERTILIZER OR COMPOST TO BIORETENTION WILL LIKELY RESULT IN NUTRIENT EXPORT FROM THE BED. • MULCH: REPLACE MULCH ANNUALLY IN BIORETENTION FACILITIES WHERE HEAVY METAL DEPOSITION IS LIKELY (E.G., DRAINAGE AREAS THAT INCLUDE COMMERCIAL/INDUSTRIAL USES, PARKING LOTS, OR ROADS). METAL 'HOT SPOTS' OCCUR WHERE WATER ENTERS THE BED. IN RESIDENTIAL OR OTHER SETTINGS WHERE METAL DEPOSITION IS NOT A CONCERN, REPLACE OR

• PLANT MATERIAL: DEPENDING ON PLANTS SELECTED AND AESTHETIC REQUIREMENTS, OCCASIONAL PRUNING AND REMOVAL OF DEAD PLANT MATERIAL MAY BE NECESSARY. BE CAREFUL TO PRUNE TREES AND SHRUBS TO MAINTAIN LINES OF SIGHT IN PARKING LOTS AND ALONG ROADWAYS. NCDOT STATES: "SHRUBS MUST BE KEPT LOW, AND TREES AND LARGE SHRUBS UNDER-TRIMMED SUFFICIENTLY TO PERMIT CLEAR SIGHT IN THE AREA BETWEEN 2 FEET AND 6 FEET ABOVE ROADWAY ELEVATIONS. REPLACE ALL DEAD PLANTS. HOWEVER, IF SPECIFIC PLANTS CONSISTENTLY HAVE A HIGH MORTALITY RATE, ASSESS THE CAUSE AND REPLACE WITH APPROPRIATE SPECIES. PERIODIC WEEDING IS NECESSARY UNTIL GROUNDCOVER PLANTS ARE ESTABLISHED. WEEDING SHOULD BECOME LESS FREQUENT IF AN APPROPRIATE PLANT DENSITY HAS BEEN ESTABLISHED. • NUTRIENTS AND PESTICIDES: THE SOIL MEDIA AND PLANT MATERIAL SHOULD HAVE BEEN

FOR OPTIMUM FERTILITY, PLANT ESTABLISHMENT, AND GROWTH WITHIN THE PARTICULAR

BE REQUIRED AND WILL DEGRADE THE POLLUTANT PROCESSING CAPABILITY OF THE

CONDITIONS OF EACH BIORETENTION FACILITY. NUTRIENT AND PESTICIDE INPUTS SHOULD NOT

BIORETENTION FACILITY, AS WELL AS CONTRIBUTE TO ADDITIONAL POLLUTANT LOADING TO

SOURCE, REMOVE EXCESS DEPOSITS, AND CORRECT THE PROBLEM.

PLANTS ARE ESTABLISHED. • EROSION CONTROL: INSPECT FLOW ENTRANCES, PONDING AREA, AND SURFACE OVERFLOW PERIODICALLY. REPLACE SOIL, PLANT MATERIAL, AND/OR MULCH IN AREAS WHERE EROSION HAS OCCURRED. EROSION PROBLEMS SHOULD NOT OCCUR WITH PROPER DESIGN EXCEPT DURING EXTREME WEATHER EVENTS. IF EROSION PROBLEMS DO OCCUR, THE FOLLOWING ISSUES SHOULD BE REASSESSED: FLOW VOLUMES FROM THE CONTRIBUTING DRAINAGE AREA AND BIORETENTION SIZE; FLOW VELOCITIES AND GRADIENTS WITHIN THE BIORETENTION FACILITY; FLOW DISSIPATION AND EROSION PROTECTION METHODS IN THE PRETREATMENT AND IN-FLOW AREAS. IF SEDIMENT IS DEPOSITED IN THE BIORETENTION FACILITY, IMMEDIATELY DETERMINE THE

BIORETENTION MAINTENANCE REQUIREMENTS ARE TYPICAL LANDSCAPE CARE PROCEDURES AND • WATERING: PLANTS SHOULD BE SELECTED TO BE TOLERANT OF THE BIORETENTION FACILITY'S PARTICULAR CONDITIONS. WATERING MAY BE REQUIRED TO INITIALLY ESTABLISH THE VEGETATION. WATERING SHOULD NOT BE REQUIRED AFTER ESTABLISHMENT (ABOUT 2 TO 3 YEARS). HOWEVER, WATERING MAY BE REQUIRED DURING PROLONGED DRY PERIODS AFTER

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INCLUDE:

AREAS

SELECTED

• SNOW, MULCH OR ANY OTHER MATERIAL WILL NEVER BE PILED ON THE SURFACE OF THE BIORETENTION CELL. • HEAVY EQUIPMENT WILL NEVER BE DRIVEN OVER THE BIORETENTION CELL. • SPECIAL CARE WILL BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE BIORETENTION

• IMMEDIATELY AFTER THE BIORETENTION CELL IS ESTABLISHED. THE PLANTS WILL BE WATERED

TWICE WEEKLY IF NEEDED UNTIL THE PLANTS BECOME ESTABLISHED (COMMONLY SIX WEEKS).

IMPORTANT OPERATION AND MAINTENANCE PROCEDURES:



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CONSULTANTS

ARCHITECT IN SITU STUDIO 704 N. PERSON STREET RALEIGH, NC 27604 WWW.INSITUSTUDIO.US

CIVIL ENGINEER THE WOOTEN COMPANY 120 N. BOYLAN AVENUE RALEIGH, NC 27603 WWW.THEWOOTENCOMPANY.COM

REGISTRATION



CLIENT



FACILITIES DESIGN AND CONSTRUCTION WAKE COUNTY OFFICE BUILDING 11TH FLOOR RALEIGH, NC 27602



3200 PLEASANT UNION **CHURCH ROAD**

KEY MAP

NO.	REVISION	DATE
1	RESUBMISSION- SITE PLAN	11/08/2024

ISSUE:

100% CONSTRUCTION DOCS

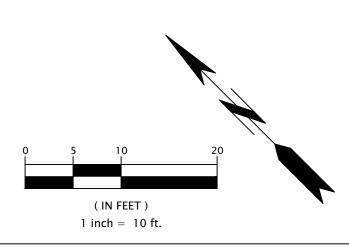
PROJECT NO: DATE: DRAWN: CHECKED:

MARCH 21, 2024 THR AMW

SHEET TITLE:

STORMWATER MANAGEMENT PLAN PLAYGROUND

C-302



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• INSPECTION ACTIVITIES SHALL BE PERFORMED AS FOLLOWS. ANY PROBLEMS THAT ARE FOUND SHALL BE REPAIRED IMMEDIATELY. • REMOVE TOP LAYER OF FILL MEDIA WHEN THE POOL DOES NOT DRAIN QUICKLY. BASED ON THE MEDIA SPECIFICATION, THE POOL SHOULD DRAIN WITHIN 24 HOURS.

2

• AFTER THE BIORETENTION CELL IS ESTABLISHED, INSPECT IT ONCE A QUARTER. RECORDS OF OPERATION AND MAINTENANCE WILL BE KEPT IN A KNOWN SET LOCATION AND WILL BE AVAILABLE UPON REQUEST.

• ONCE A YEAR, A SOIL TEST OF THE SOIL MEDIA WILL BE CONDUCTED.

• SPECIAL CARE WILL BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE BIORETENTION

• SNOW, MULCH OR ANY OTHER MATERIAL WILL NEVER BE PILED ON THE SURFACE OF THE BIORETENTION CELL. • HEAVY EQUIPMENT WILL NEVER BE DRIVEN OVER THE BIORETENTION CELL.

IMPORTANT OPERATION AND MAINTENANCE PROCEDURES: • IMMEDIATELY AFTER THE BIORETENTION CELL IS ESTABLISHED, THE PLANTS WILL BE WATERED TWICE WEEKLY IF NEEDED UNTIL THE PLANTS BECOME ESTABLISHED (COMMONLY SIX WEEKS).

• FILTERING CAPACITY: WHEN THE FILTERING CAPACITY DIMINISHES SUBSTANTIALLY (E.G., WHEN WATER PONDS ON THE SURFACE FOR MORE THAN 12 HOURS), REMEDIAL ACTIONS MUST BE TAKEN. IF THE WATER STILL PONDS FOR MORE THAN 12 HOURS, THE TOP FEW INCHES OF MATERIAL SHOULD BEREMOVED AND REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHOULD BE DISPOSED OF IN AN ACCEPTABLE MANNER (E.G., LANDFILL) OR LAND APPLICATION. IF THAT DOES NOT SOLVE THE PROBLEM, MORE EXTENSIVE REBUILDING IS REQUIRED. IF THE BED HAS FILTER FABRIC INSTALLED UNDER THE MEDIA AND ABOVE THE WASHED ROCK, THE FILTER FABRIC MAY BE CLOGGED WITH SEDIMENT. IF CLOGGED FILTER FABRIC IS PRESENT, THE BED WILL NEED TO BE REBUILT.

• MULCH: REPLACE MULCH ANNUALLY IN BIORETENTION FACILITIES WHERE HEAVY METAL DEPOSITION IS LIKELY (E.G., DRAINAGE AREAS THAT INCLUDE COMMERCIAL/INDUSTRIAL USES, PARKING LOTS, OR ROADS). METAL 'HOT SPOTS' OCCUR WHERE WATER ENTERS THE BED. IN RESIDENTIAL OR OTHER SETTINGS WHERE METAL DEPOSITION IS NOT A CONCERN, REPLACE OR ADD MULCH AS NEEDED TO MAINTAIN A 2 TO 4-INCH DEPTH.

SELECTED FOR OPTIMUM FERTILITY, PLANT ESTABLISHMENT, AND GROWTH WITHIN THE PARTICULAR CONDITIONS OF EACH BIORETENTION FACILITY. NUTRIENT AND PESTICIDE INPUTS SHOULD NOT BE REQUIRED AND WILL DEGRADE THE POLLUTANT PROCESSING CAPABILITY OF THE BIORETENTION FACILITY, AS WELL AS CONTRIBUTE TO ADDITIONAL POLLUTANT LOADING TO RECEIVING WATERS. BY DESIGN, BIORETENTION FACILITIES ARE TYPICALLY SPECIFIED IN WATERSHEDS WHERE PHOSPHOROUS AND NITROGEN LEVELS ARE OFTEN ELEVATED. THEREFORE, THESE SHOULD NOT BE LIMITING NUTRIENTS WITH REGARD TO PLANT HEALTH. IF IN QUESTION, HAVE THE SOIL ANALYZED FOR FERTILITY. ADDITION OF COMMERCIAL FERTILIZER OR COMPOST TO BIORETENTION WILL LIKELY RESULT IN NUTRIENT EXPORT FROM THE BED.

PRUNING AND REMOVAL OF DEAD PLANT MATERIAL MAY BE NECESSARY. BE CAREFUL TO PRUNE TREES AND SHRUBS TO MAINTAIN LINES OF SIGHT IN PARKING LOTS AND ALONG ROADWAYS. NCDOT STATES: "SHRUBS MUST BE KEPT LOW, AND TREES AND LARGE SHRUBS UNDER-TRIMMED SUFFICIENTLY TO PERMIT CLEAR SIGHT IN THE AREA BETWEEN 2 FEET AND 6 FEET ABOVE ROADWAY ELEVATIONS. REPLACE ALL DEAD PLANTS. HOWEVER, IF SPECIFIC PLANTS CONSISTENTLY HAVE A HIGH MORTALITY RATE, ASSESS THE CAUSE AND REPLACE WITH APPROPRIATE SPECIES. PERIODIC WEEDING IS NECESSARY UNTIL GROUNDCOVER PLANTS ARE ESTABLISHED. WEEDING SHOULD BECOME LESS FREQUENT IF AN APPROPRIATE PLANT DENSITY HAS BEEN ESTABLISHED. • NUTRIENTS AND PESTICIDES: THE SOIL MEDIA AND PLANT MATERIAL SHOULD HAVE BEEN

OCCURRED. EROSION PROBLEMS SHOULD NOT OCCUR WITH PROPER DESIGN EXCEPT DURING EXTREME WEATHER EVENTS. IF EROSION PROBLEMS DO OCCUR, THE FOLLOWING ISSUES SHOULD BE REASSESSED: FLOW VOLUMES FROM THE CONTRIBUTING DRAINAGE AREA AND BIORETENTION SIZE; FLOW VELOCITIES AND GRADIENTS WITHIN THE BIORETENTION FACILITY; FLOW DISSIPATION AND EROSION PROTECTION METHODS IN THE PRETREATMENT AND IN-FLOW AREAS. IF SEDIMENT IS DEPOSITED IN THE BIORETENTION FACILITY, IMMEDIATELY DETERMINE THE SOURCE, REMOVE EXCESS DEPOSITS, AND CORRECT THE PROBLEM. • PLANT MATERIAL: DEPENDING ON PLANTS SELECTED AND AESTHETIC REQUIREMENTS, OCCASIONAL

VEGETATION. WATERING SHOULD NOT BE REQUIRED AFTER ESTABLISHMENT (ABOUT 2 TO 3 YEARS). HOWEVER, WATERING MAY BE REQUIRED DURING PROLONGED DRY PERIODS AFTER PLANTS ARE ESTABLISHED. • EROSION CONTROL: INSPECT FLOW ENTRANCES, PONDING AREA, AND SURFACE OVERFLOW AREAS PERIODICALLY. REPLACE SOIL, PLANT MATERIAL, AND/OR MULCH IN AREAS WHERE EROSION HAS

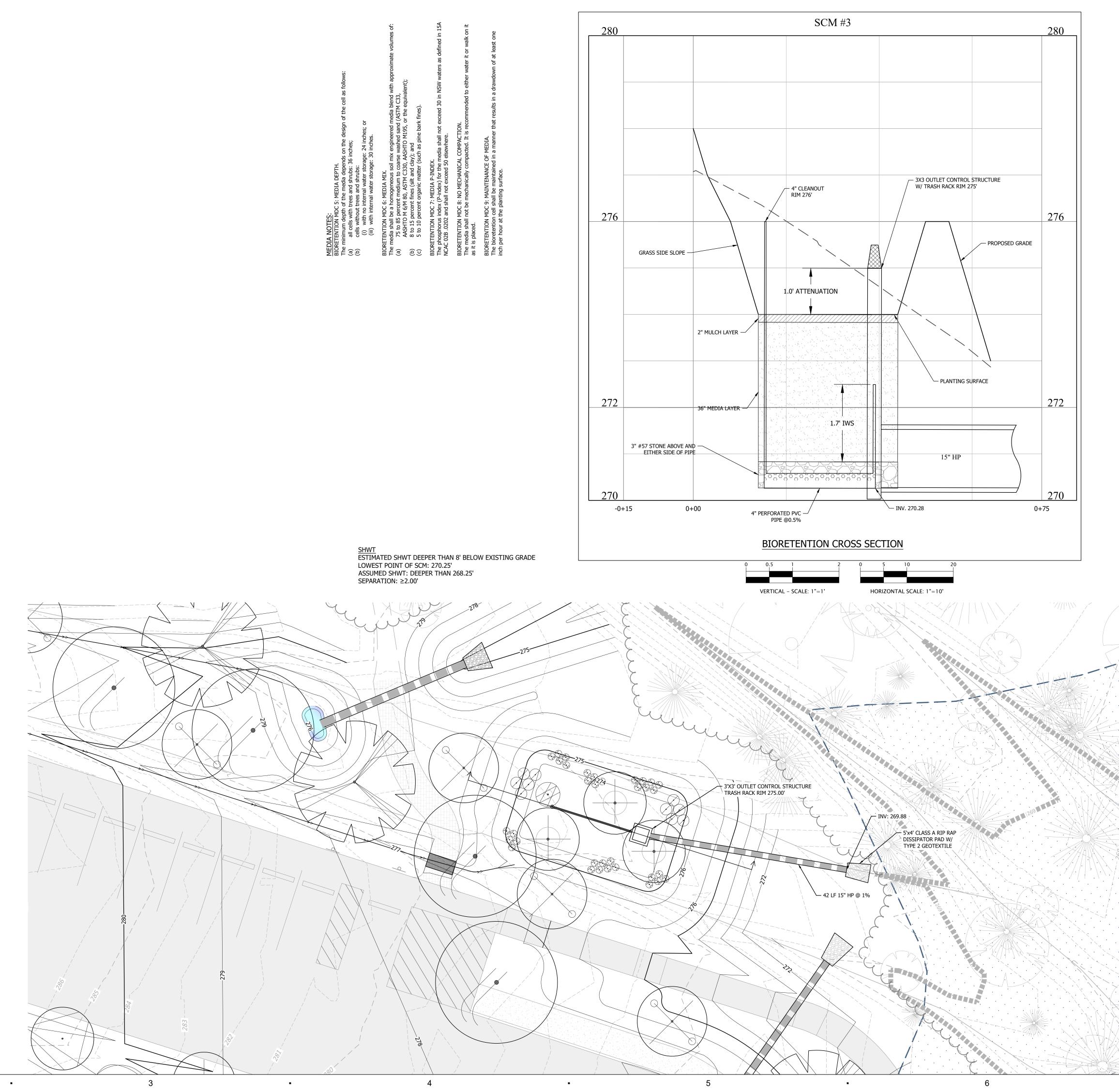
BIORETENTION MAINTENANCE REQUIREMENTS ARE TYPICAL LANDSCAPE CARE PROCEDURES AND INCLUDE: • WATERING: PLANTS SHOULD BE SELECTED TO BE TOLERANT OF THE BIORETENTION FACILITY'S PARTICULAR CONDITIONS. WATERING MAY BE REQUIRED TO INITIALLY ESTABLISH THE

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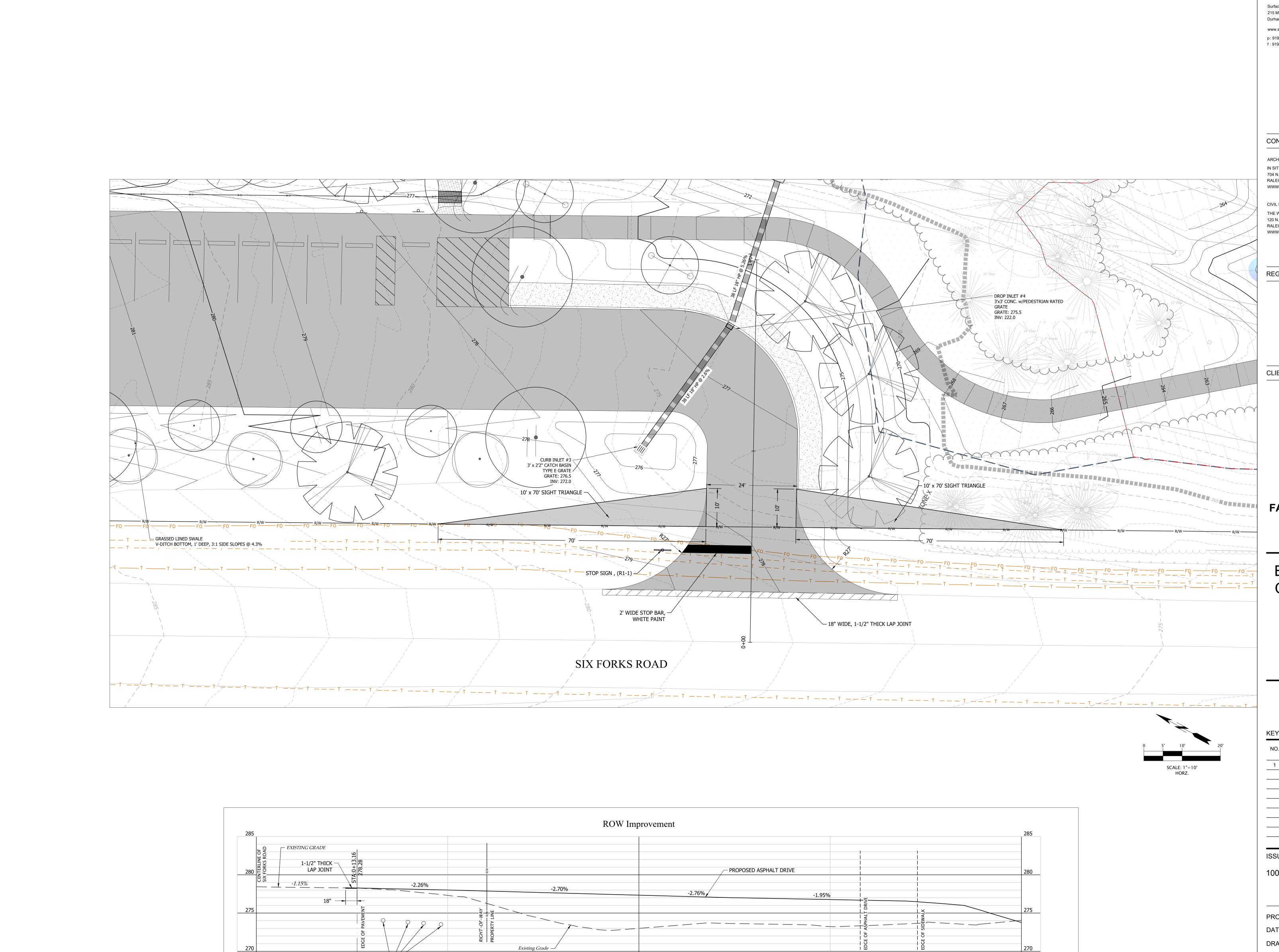
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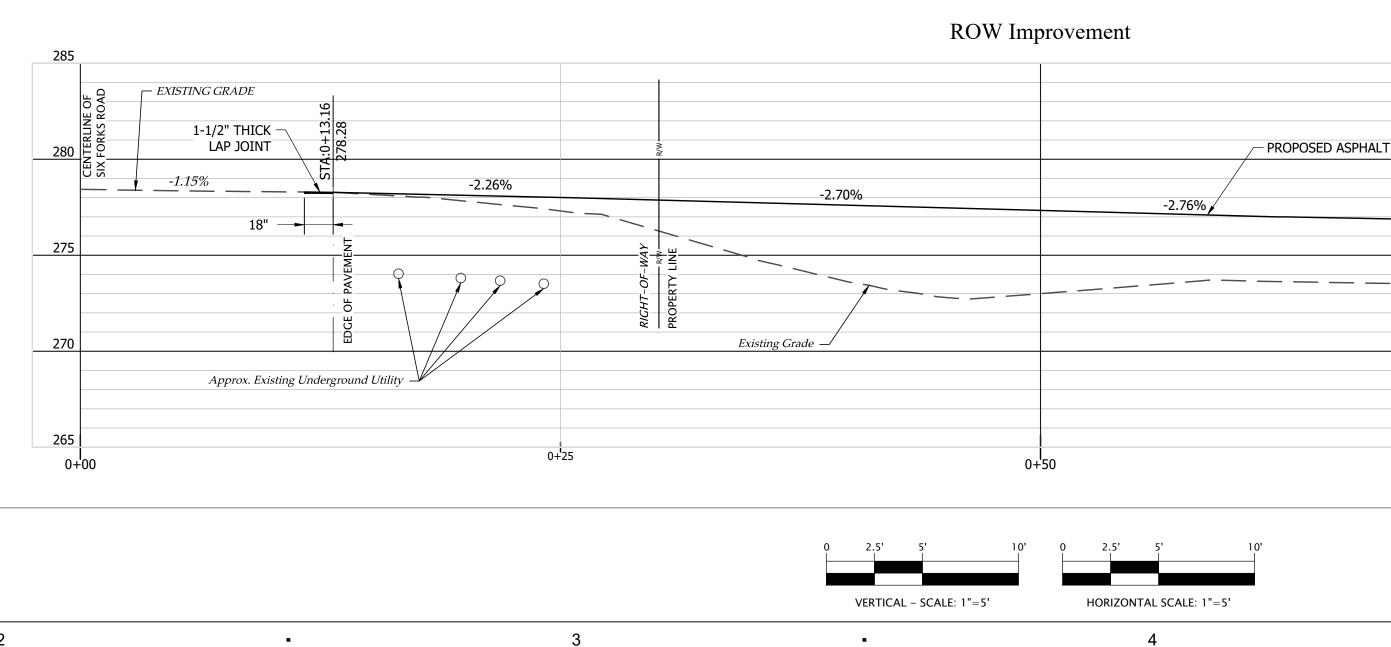
SHEET TITLE:

STORMWATER MANAGEMENT PLAN KAYAK LAUNCH

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KEY MAP

3200 PLEASANT UNION CHURCH ROAD



COUNTY PARK



CLIENT

REGISTRATION

RALEIGH, NC 27603 WWW.THEWOOTENCOMPANY.COM

CIVIL ENGINEER THE WOOTEN COMPANY

120 N. BOYLAN AVENUE

WWW.INSITUSTUDIO.US

IN SITU STUDIO 704 N. PERSON STREET RALEIGH, NC 27604

ARCHITECT

CONSULTANTS

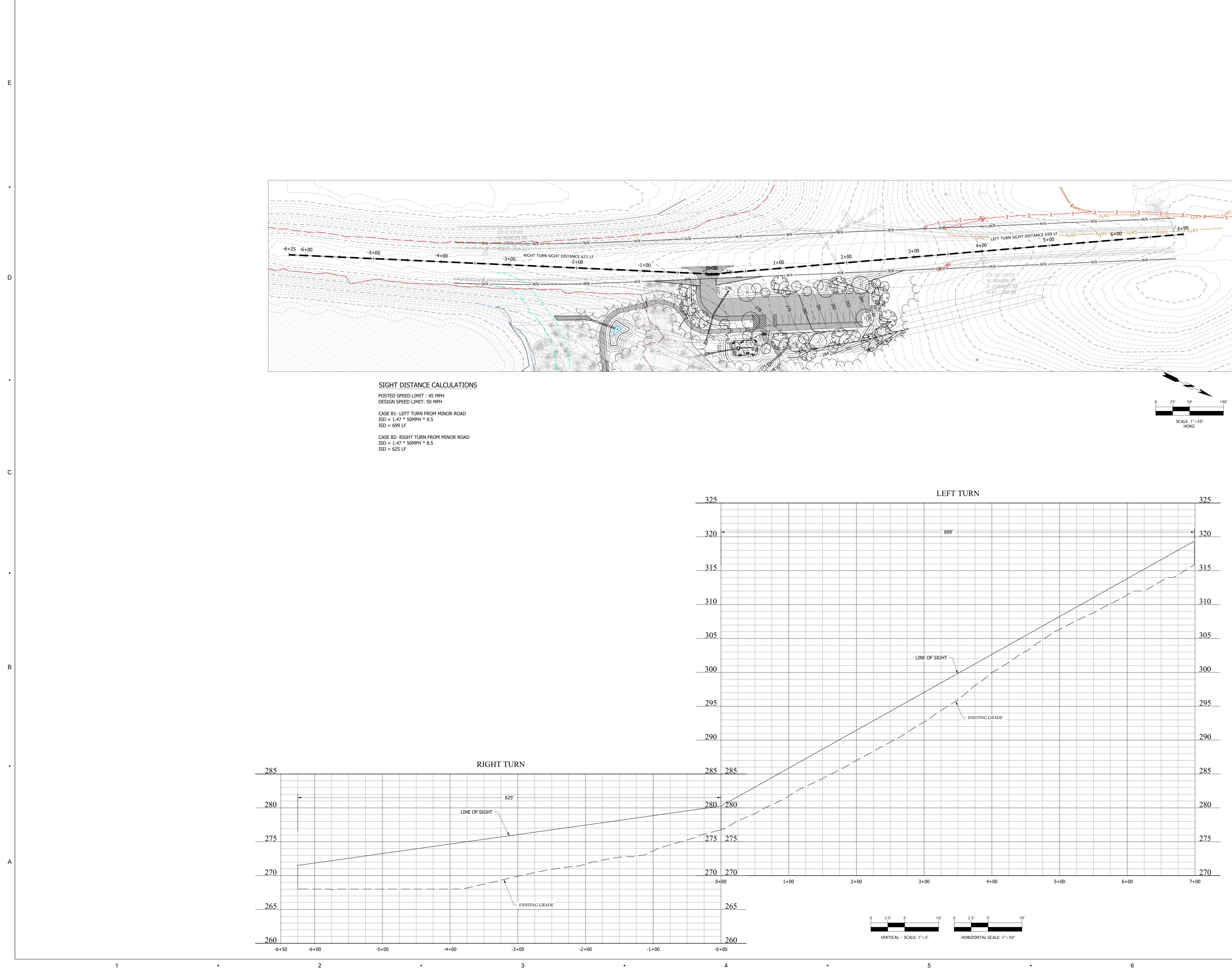
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SIGHT DISTANCE PLAN

DATE: DRAWN: SHEET TITLE: -

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PROJECT NO:

MARCH 21, 2024 THR AMW

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KEY MAP NO. DATE REVISION _____ 1 RESUBMISSION- SITE PLAN 11/08/2024 _____ _____



CHURCH ROAD



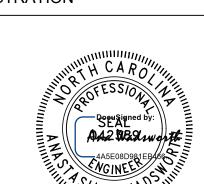
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CONSTRUCTION

WAKE COUNTY OFFICE BUILDING 11TH FLOOR RALEIGH, NC 27602

BLUE JAY POINT

CLIENT



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IN SITU STUDIO

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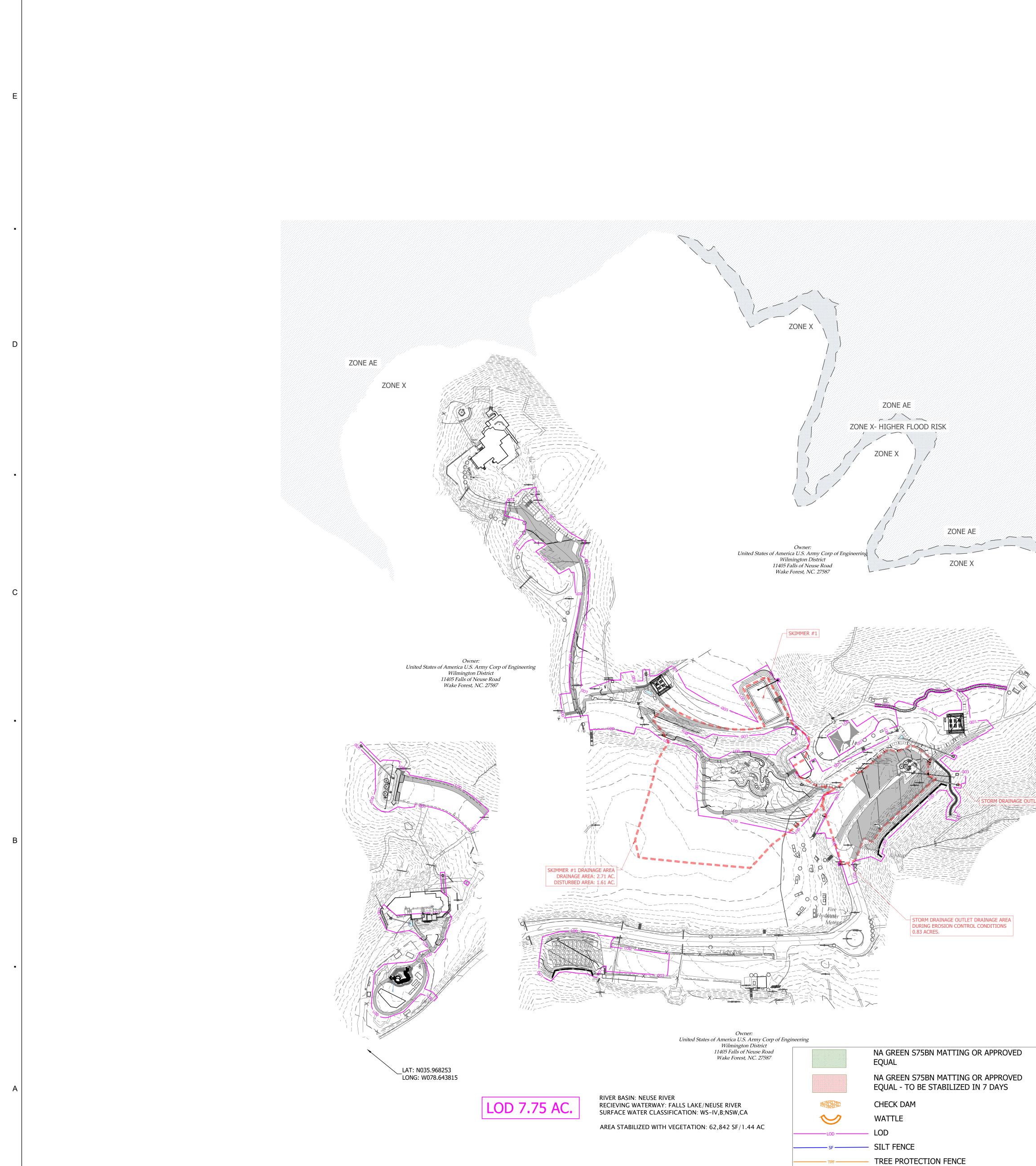
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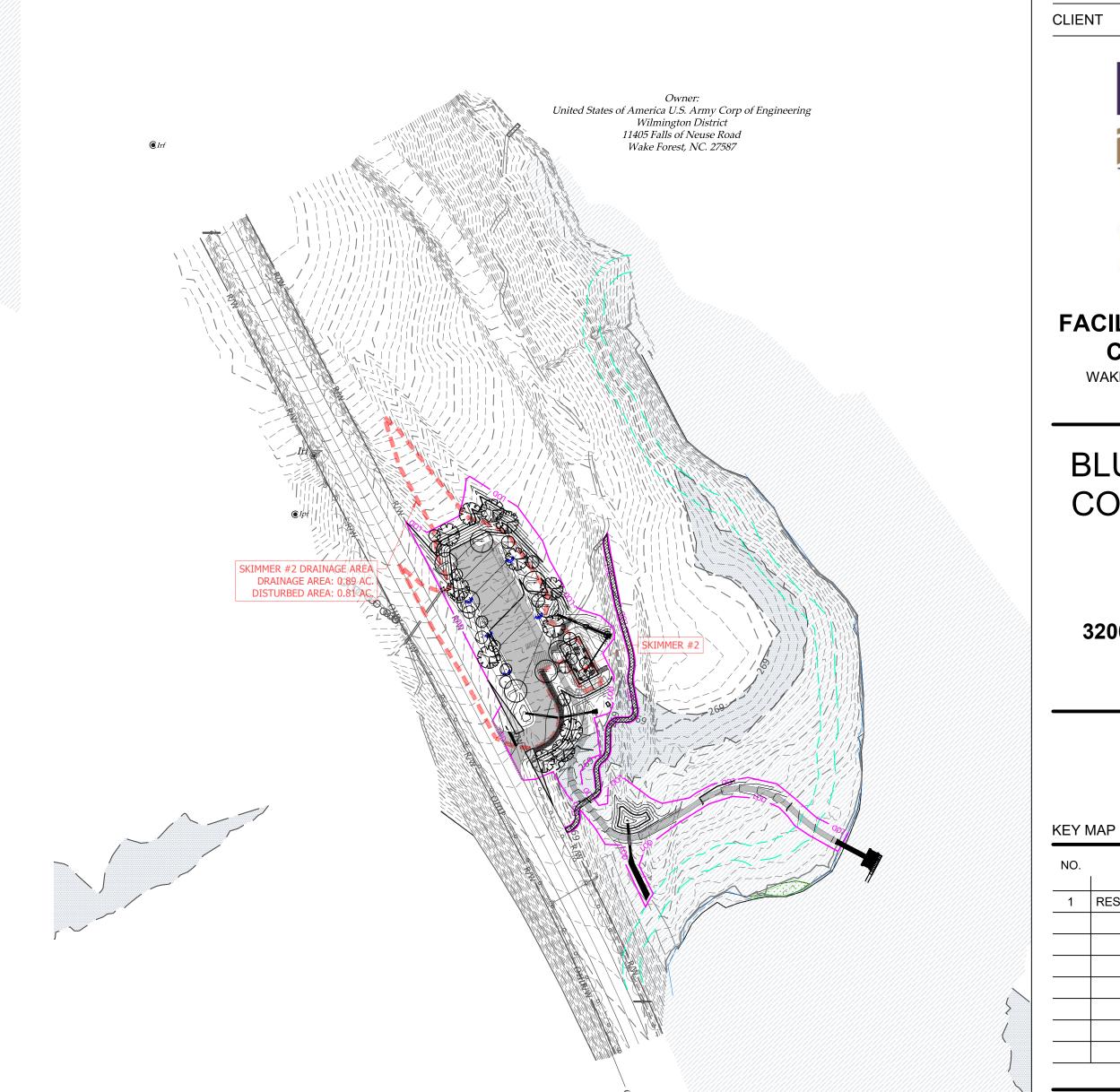
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COMBINATION SILT AND TREE PROTECTION FENCE SILT FENCE OUTLET INLET PROTECTION

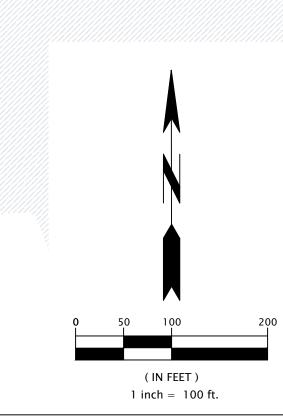
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CONSTRUCTION TIMELINE COORDINATION WITH WAKE COUNTY		
AREA	AVOID TIME	PREFERRED TIME
VISTORCENTER		STARTEARLY 2025
PLAYGROUND/SHELTER & PARKING EXPANSION		EARLY2025, WINTER MONTHS
T-BALLAREA	APRIL	
KAYAK LAUNCH	APRIL	
POND		MID-AUGUST TO OCTOBER
LODGE		AUGUST TO SEPTEMBER
GOAPEPARKING		PRIOR TO SEPTEMBER
VISITORCENTERPARKING	APRIL	
SHADESAILS		EARLY2025

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ISSUE: 100% CONSTRUCTION DOCS

PROJECT NO:

REVISION	DATE
RESUBMISSION- SITE PLAN	11/08/2024

3200 PLEASANT UNION CHURCH ROAD





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THE WOOTEN COMPANY 120 N. BOYLAN AVENUE

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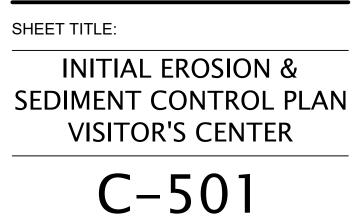
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PROJECT NO: MARCH 21, 2024

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1	RESUBMISSION- SITE PLAN	11/08/2024

KEY MAP





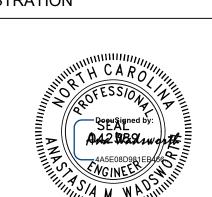
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WAKE COUNTY OFFICE BUILDING 11TH FLOOR RALEIGH, NC 27602

BLUE JAY POINT

COUNTY PARK

CLIENT



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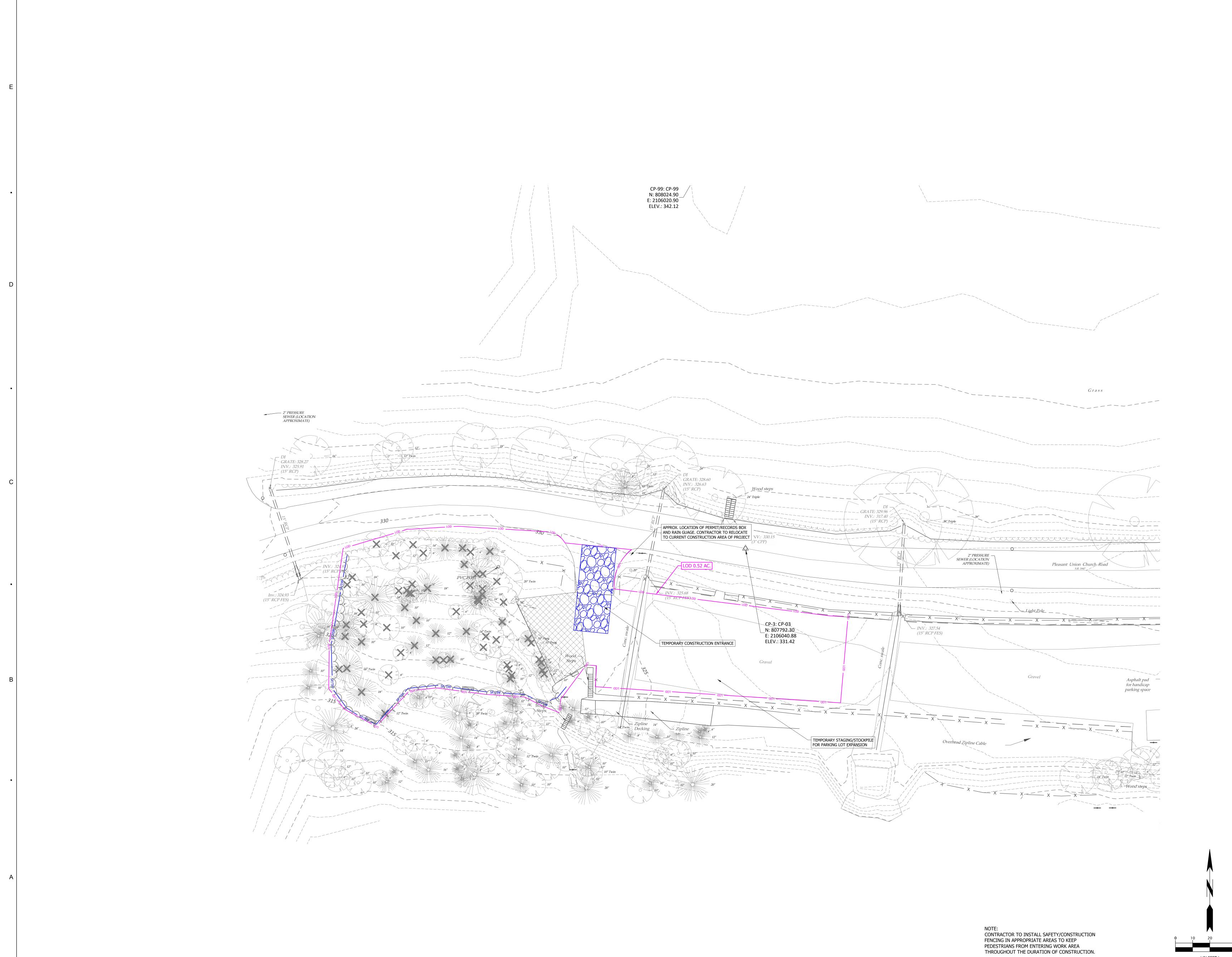
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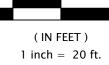
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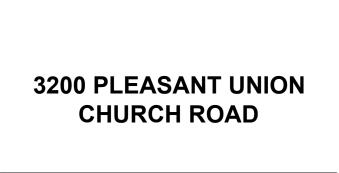
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CONSTRUCTION

WAKE COUNTY OFFICE BUILDING 11TH FLOOR RALEIGH, NC 27602

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COUNTY PARK

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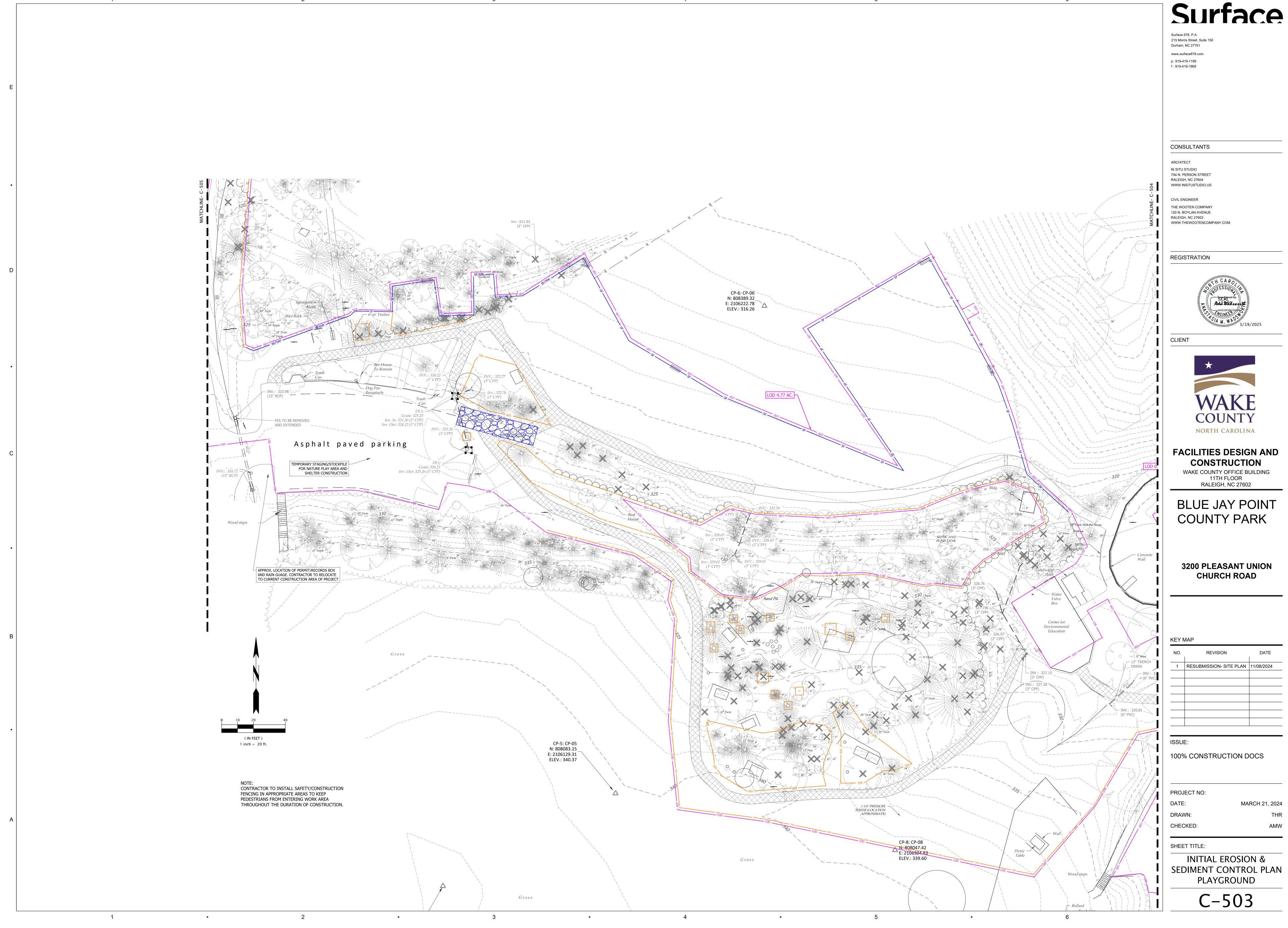
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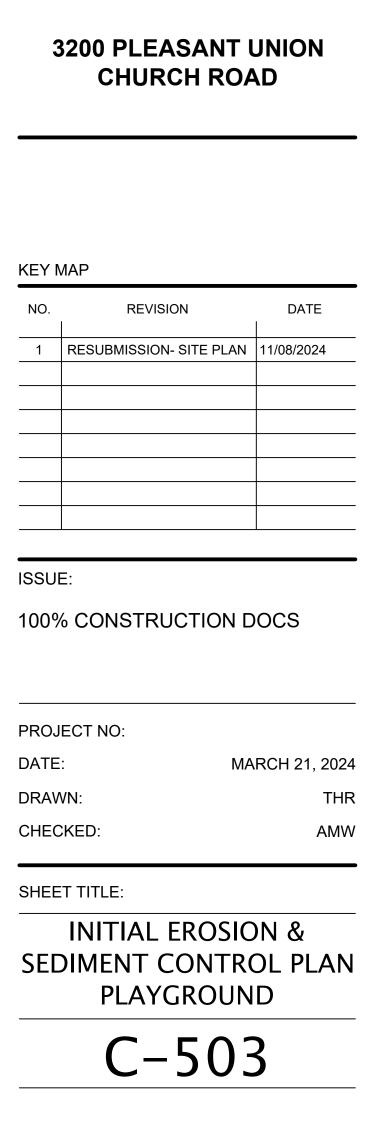
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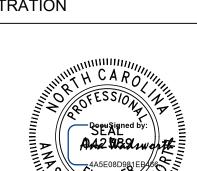


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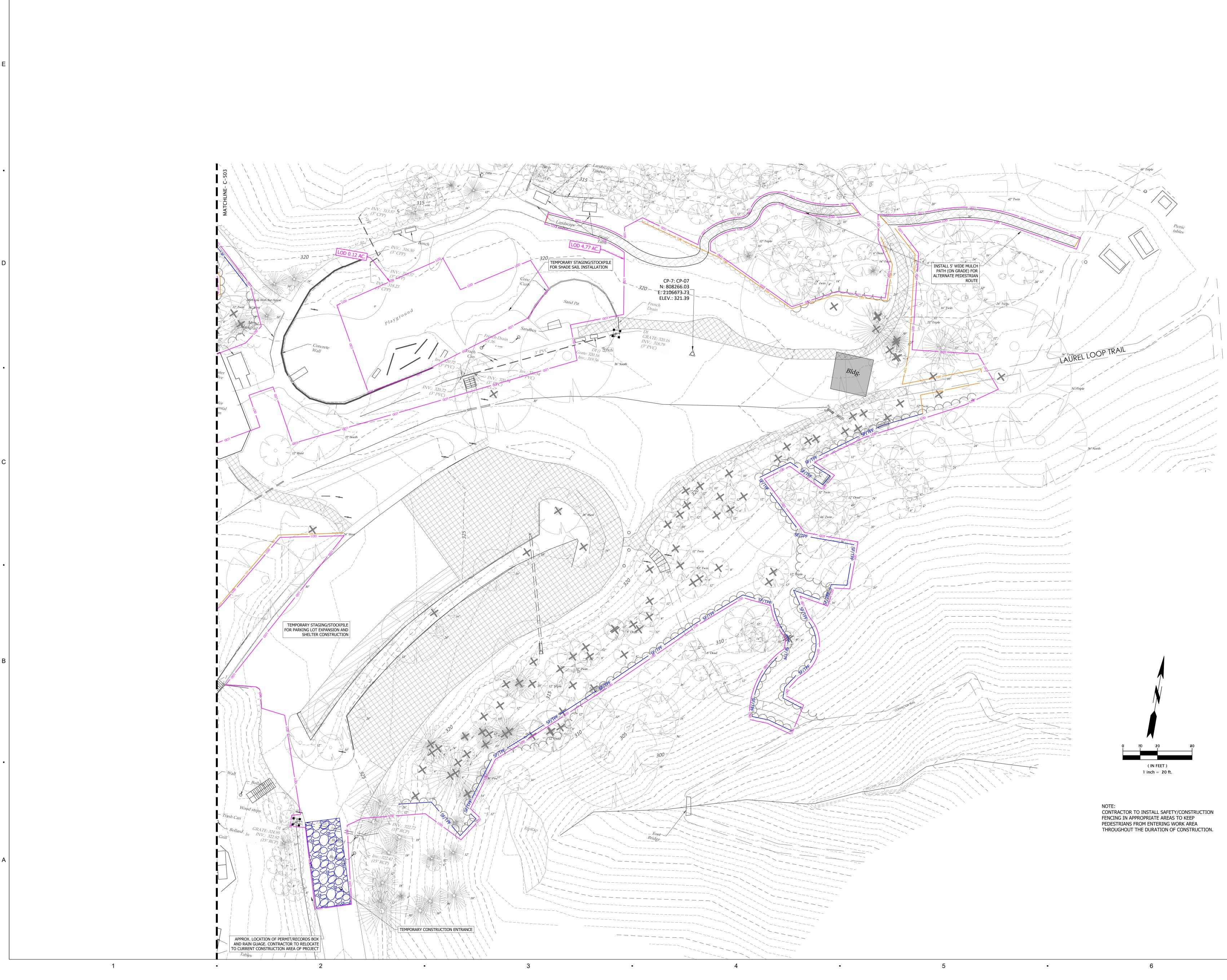
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KEY MAP

3200 PLEASANT UNION CHURCH ROAD



CONSTRUCTION

WAKE COUNTY OFFICE BUILDING 11TH FLOOR RALEIGH, NC 27602

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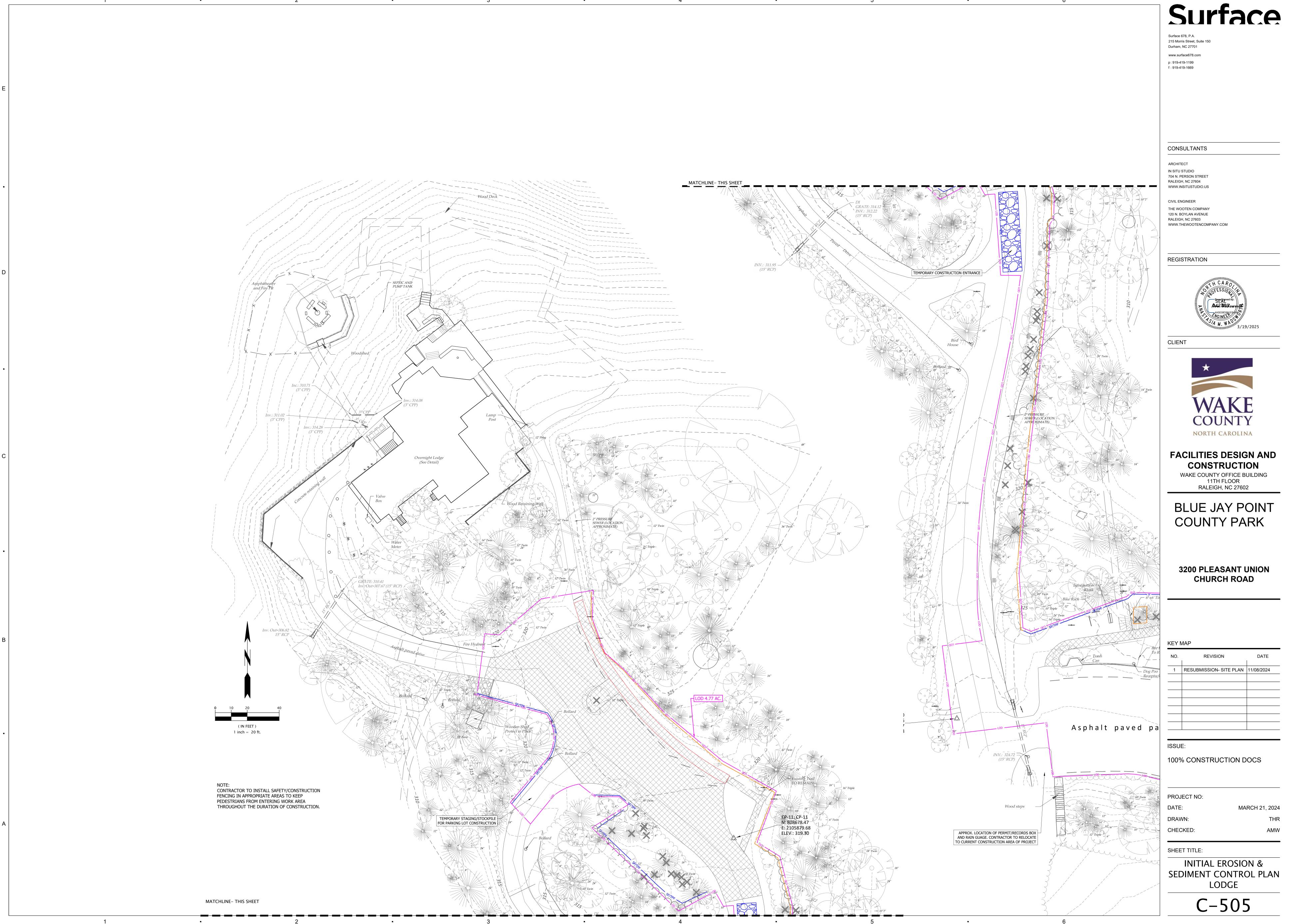
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WAKE
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FACILITIES DESIGN AND
CONSTRUCTION
WAKE COUNTY OFFICE BUILDING 11TH FLOOR
RALEIGH, NC 27602
BLUE JAY POINT COUNTY PARK
BLUE JAY POINT COUNTY PARK 3200 PLEASANT UNION
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RALEIGH, NC 27602 BLUE JAY POINT COUNTY PARK 3200 PLEASANT UNION CHURCH ROAD KEY MAP
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RALEIGH, NC 27602 BLUE JAY POINT COUNTY PARK 3200 PLEASANT UNION CHURCH ROAD XEY MAP NO. REVISION 1 RESUBMISSION- SITE PLAN 11/08/2024 11/08/2024 1 RESUBMISSION- SITE PLAN 100% CONSTRUCTION DOCS ISSUE: 100% CONSTRUCTION DOCS PROJECT NO: DATE MARCH 21, 2024 DATE: MARCH 21, 2024 DRAWN: THR CHECKED: AMW SHEET TITLE: INITIAL EROSION & SEDIMENT CONTROL PLAN LODGE UDGE
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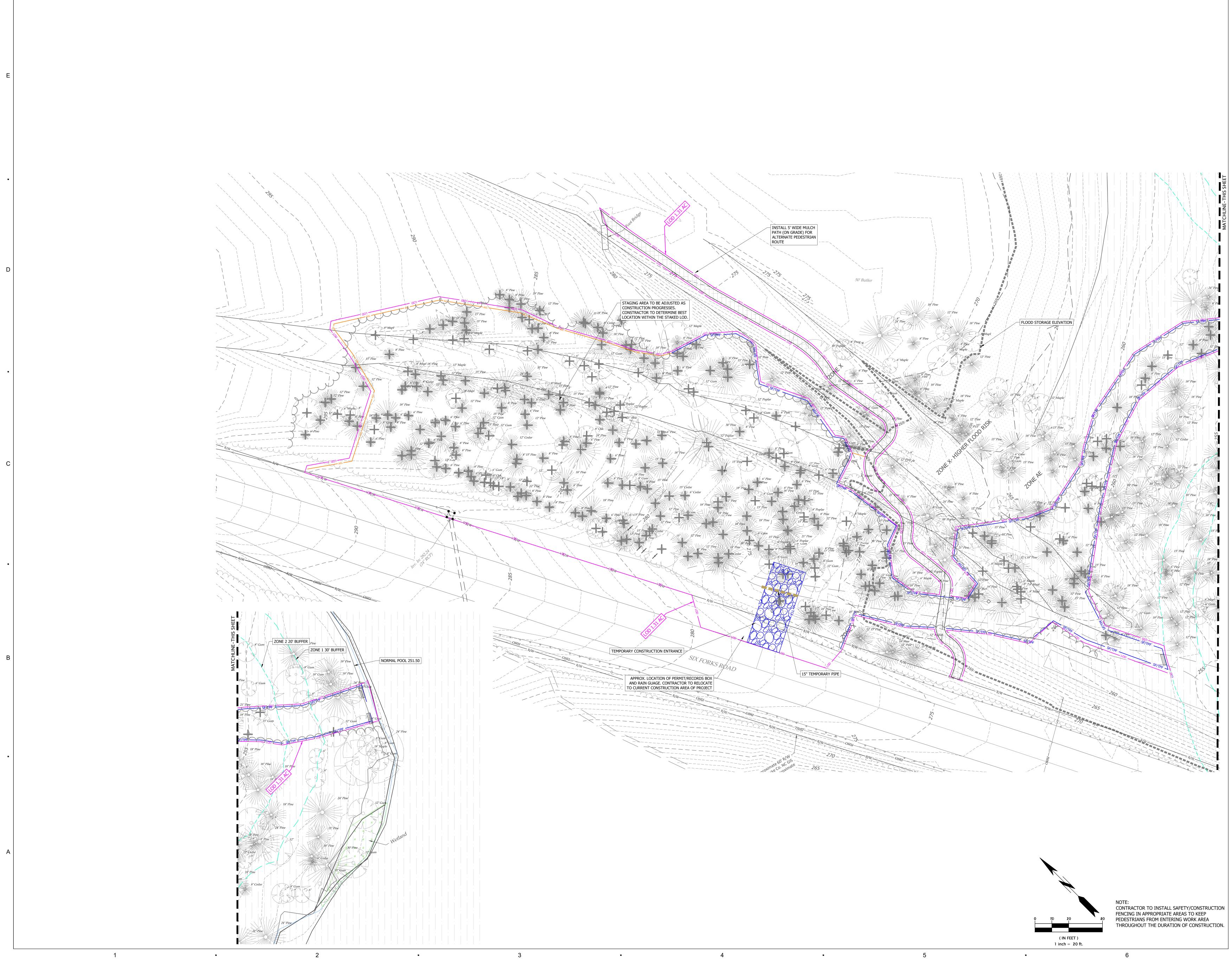
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KEY MAP

ISSUE:

3200 PLEASANT UNION CHURCH ROAD



CONSTRUCTION

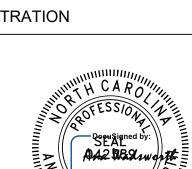
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COUNTY PARK

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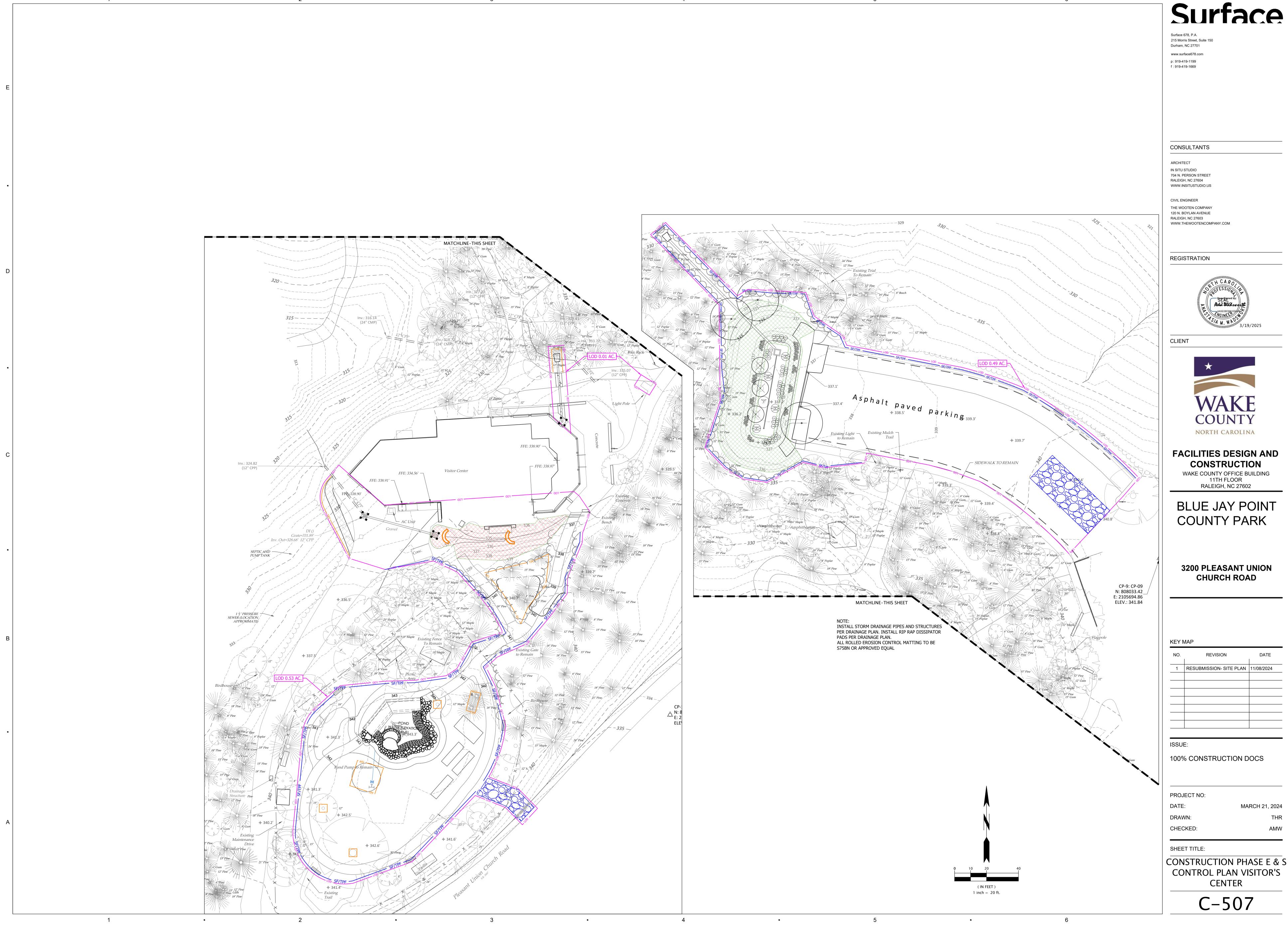


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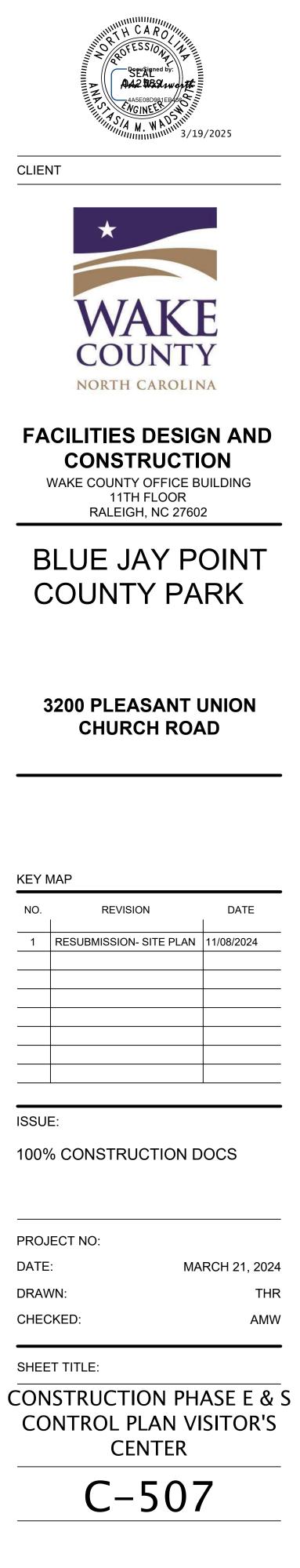
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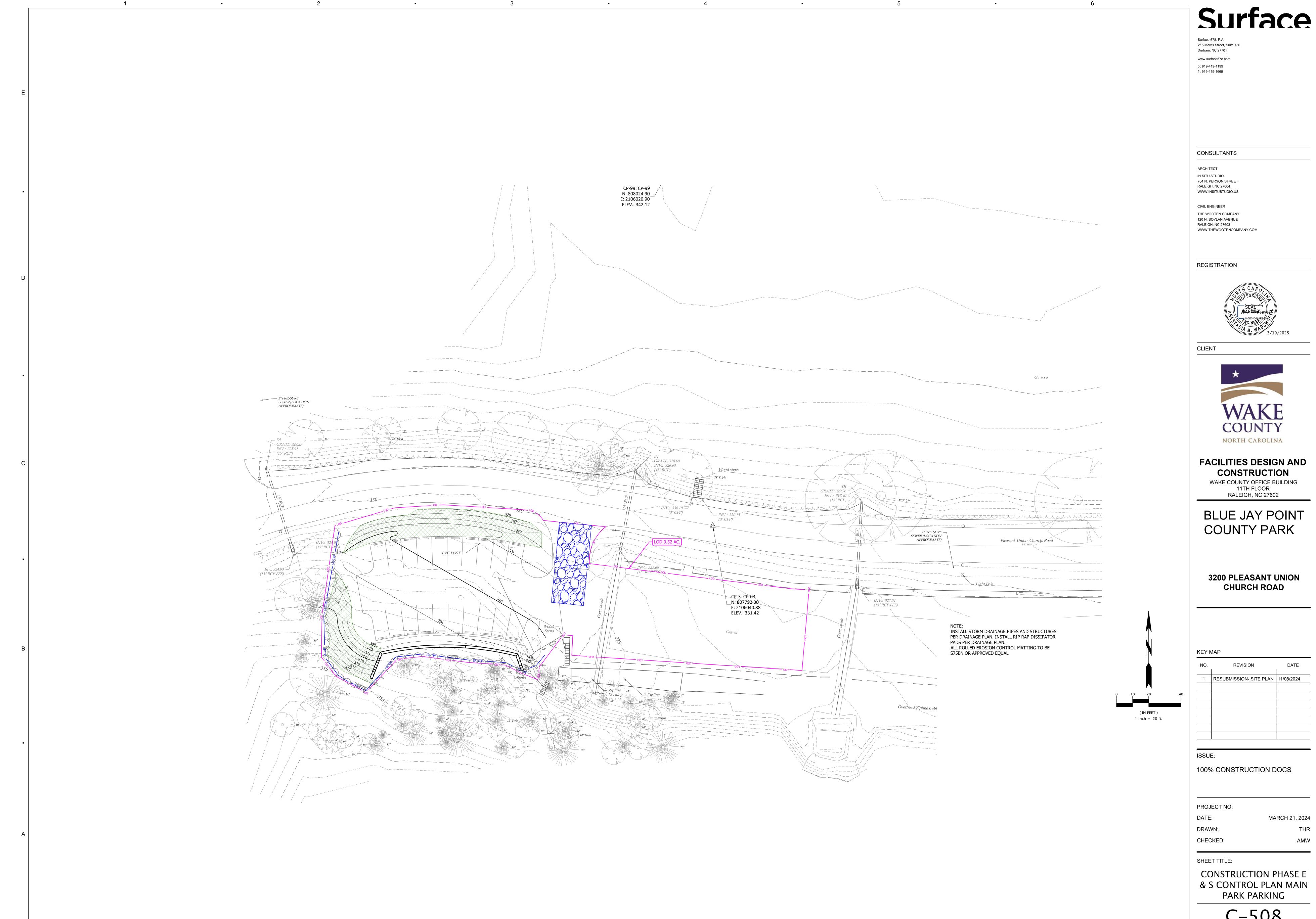
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MARCH 21, 2024

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KEY MAP

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3200 PLEASANT UNION CHURCH ROAD

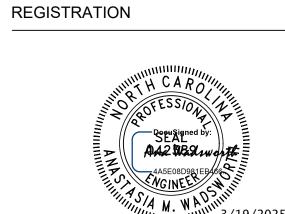
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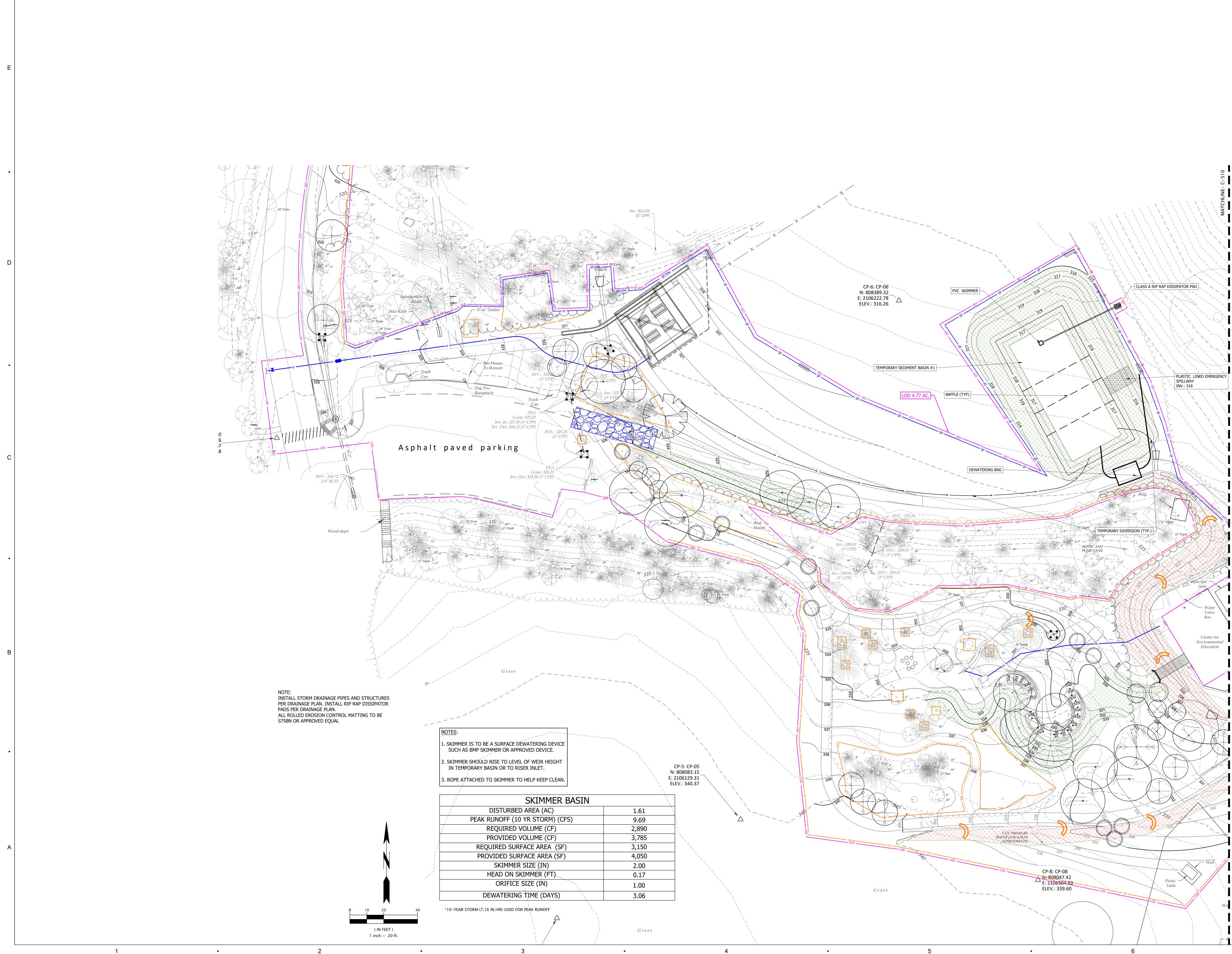
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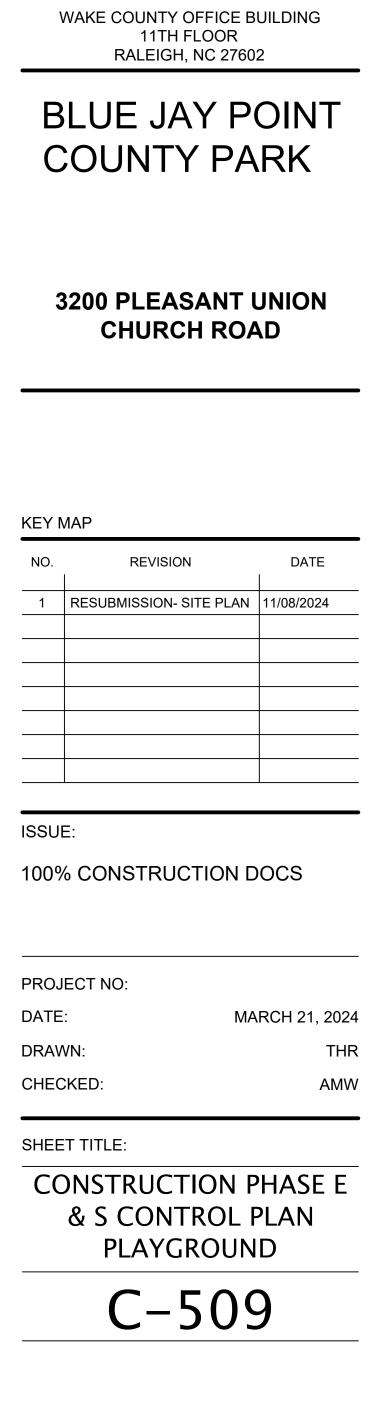
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MARCH 21, 2024

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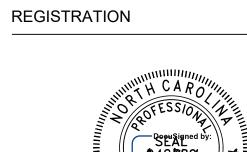
3200 PLEASANT UNION CHURCH ROAD

BLUE JAY POINT

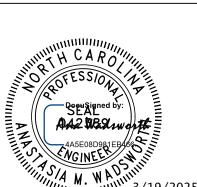
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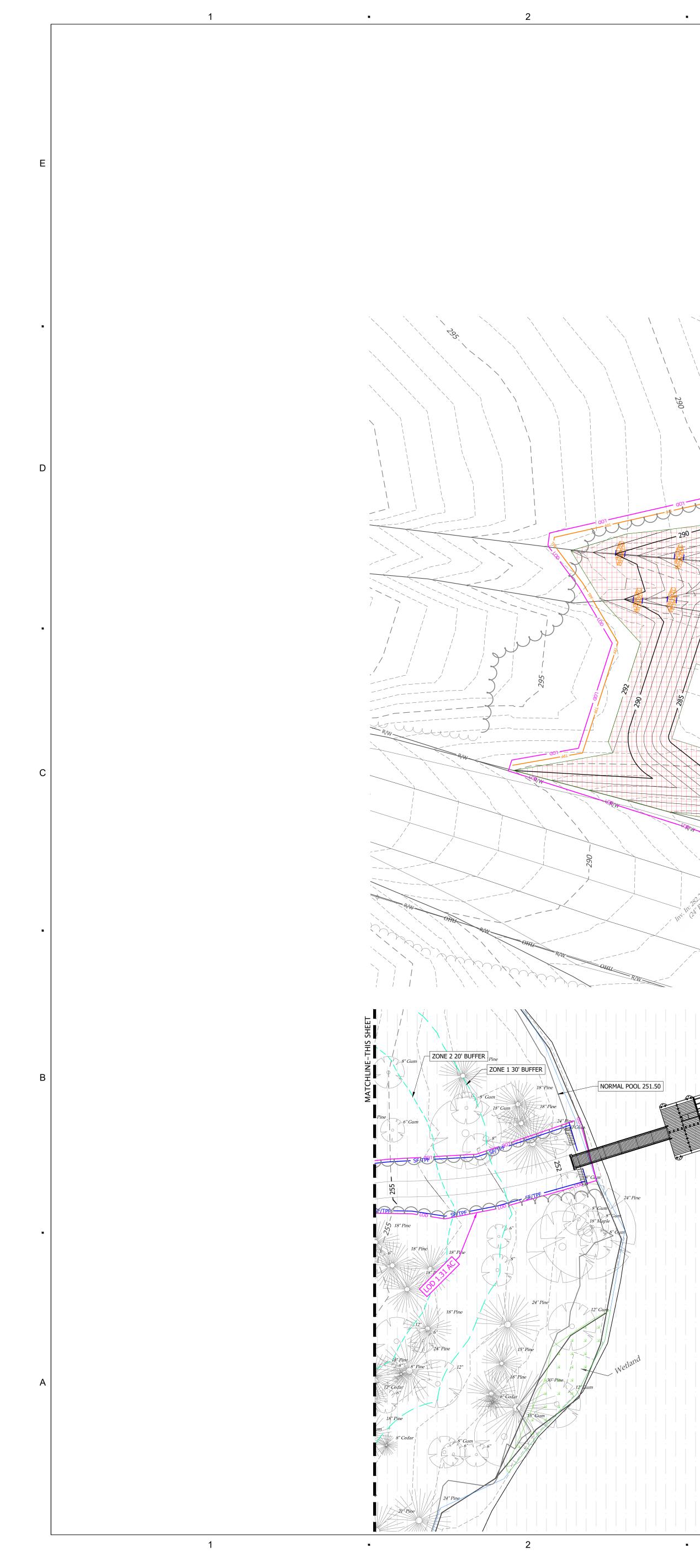
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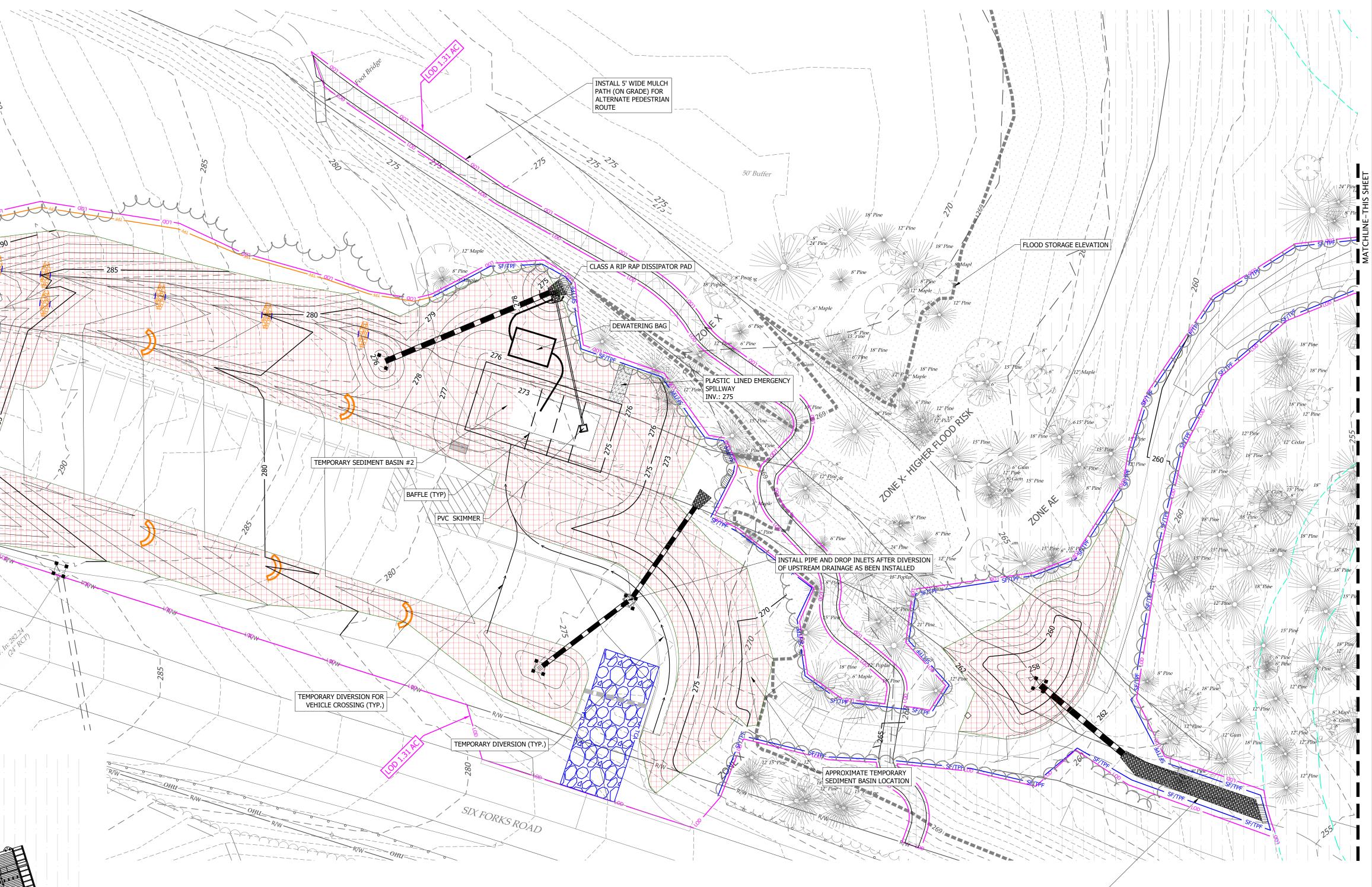
NOTES: 1. SKIMMER IS TO BE A SURFACE DEWATERING DEVICE SUCH AS BMP SKIMMER OR APPROVED DEVICE. 2. SKIMMER SHOULD RISE TO LEVEL OF WEIR HEIGHT IN TEMPORARY BASIN OR TO RISER INLET. 3. ROPE ATTACHED TO SKIMMER TO HELP KEEP CLEAN.

*10-YEAR STORM (7.16 IN/HR) USED FOR PEAK RUNOFF

SKIMMER BASIN		
DISTURBED AREA (AC)	0.89	
PEAK RUNOFF (10 YR STORM) (CFS)	3.17	
REQUIRED VOLUME (CF)	1,596	
PROVIDED VOLUME (CF)	1,943	
REQUIRED SURFACE AREA (SF)	1,032	
PROVIDED SURFACE AREA (SF)	1,250	
SKIMMER SIZE (IN)	2.00	
HEAD ON SKIMMER (FT)	0.17	
ORIFICE SIZE (IN)	0.75	
DEWATERING TIME (DAYS)	3.01	

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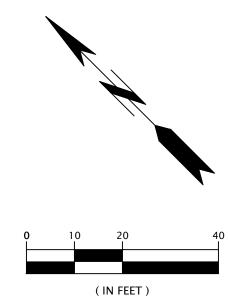
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EXTENDED RIP RAP TO BUFFER LINE, -SEE DRAINAGE PLAN FOR DETAILS.

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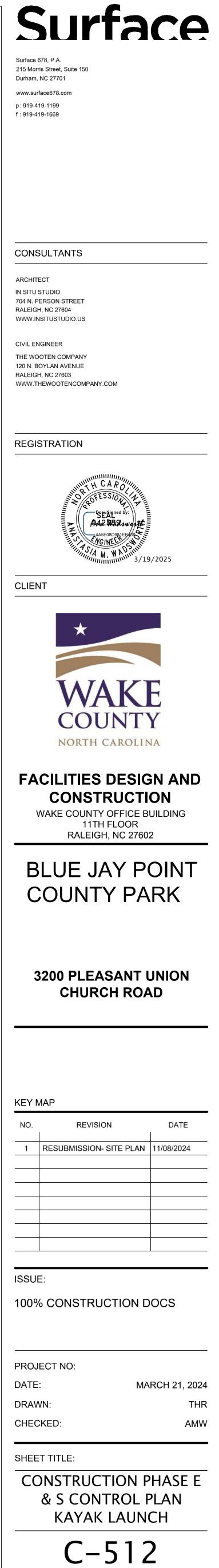


1 inch = 20 ft.

NOTE: INSTALL STORM DRAINAGE PIPES AND STRUCTURES PER DRAINAGE PLAN. INSTALL RIP RAP DISSIPATOR PADS PER DRAINAGE PLAN. ALL ROLLED EROSION CONTROL MATTING TO BE S75BN OR APPROVED EQUAL

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PROJECT NO: DATE: DRAWN: CHECKED:

MARCH 21, 2024 THR AMW

100% CONSTRUCTION DOCS

NO. REVISION DATE _____ 1 RESUBMISSION- SITE PLAN 11/08/2024 _____

KEY MAP

ISSUE:





FACILITIES DESIGN AND

CONSTRUCTION

WAKE COUNTY OFFICE BUILDING 11TH FLOOR RALEIGH, NC 27602

BLUE JAY POINT

COUNTY PARK

CLIENT

.....

REGISTRATION

CIVIL ENGINEER THE WOOTEN COMPANY 120 N. BOYLAN AVENUE RALEIGH, NC 27603 WWW.THEWOOTENCOMPANY.COM

CONSULTANTS

ARCHITECT IN SITU STUDIO 704 N. PERSON STREET RALEIGH, NC 27604 WWW.INSITUSTUDIO.US

Surface 678, P.A.

215 Morris Street, Suite 150 Durham, NC 27701 www.surface678.com p:919-419-1199 f : 919-419-1669





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1	RESUBMISSION- SITE PLAN	11/08/2024
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KEY MAP

3200 PLEASANT UNION CHURCH ROAD





CLIENT

RALEIGH, NC 27604 CIVIL ENGINEER

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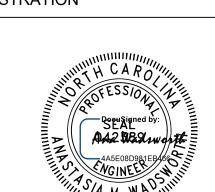
CONSTRUCTION

WAKE COUNTY OFFICE BUILDING 11TH FLOOR RALEIGH, NC 27602

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NO. REVISION DATE 1 RESUBMISSION- SITE PLAN 11/08/2024

KEY MAP

3200 PLEASANT UNION CHURCH ROAD



COUNTY PARK

NORTH CAROLINA



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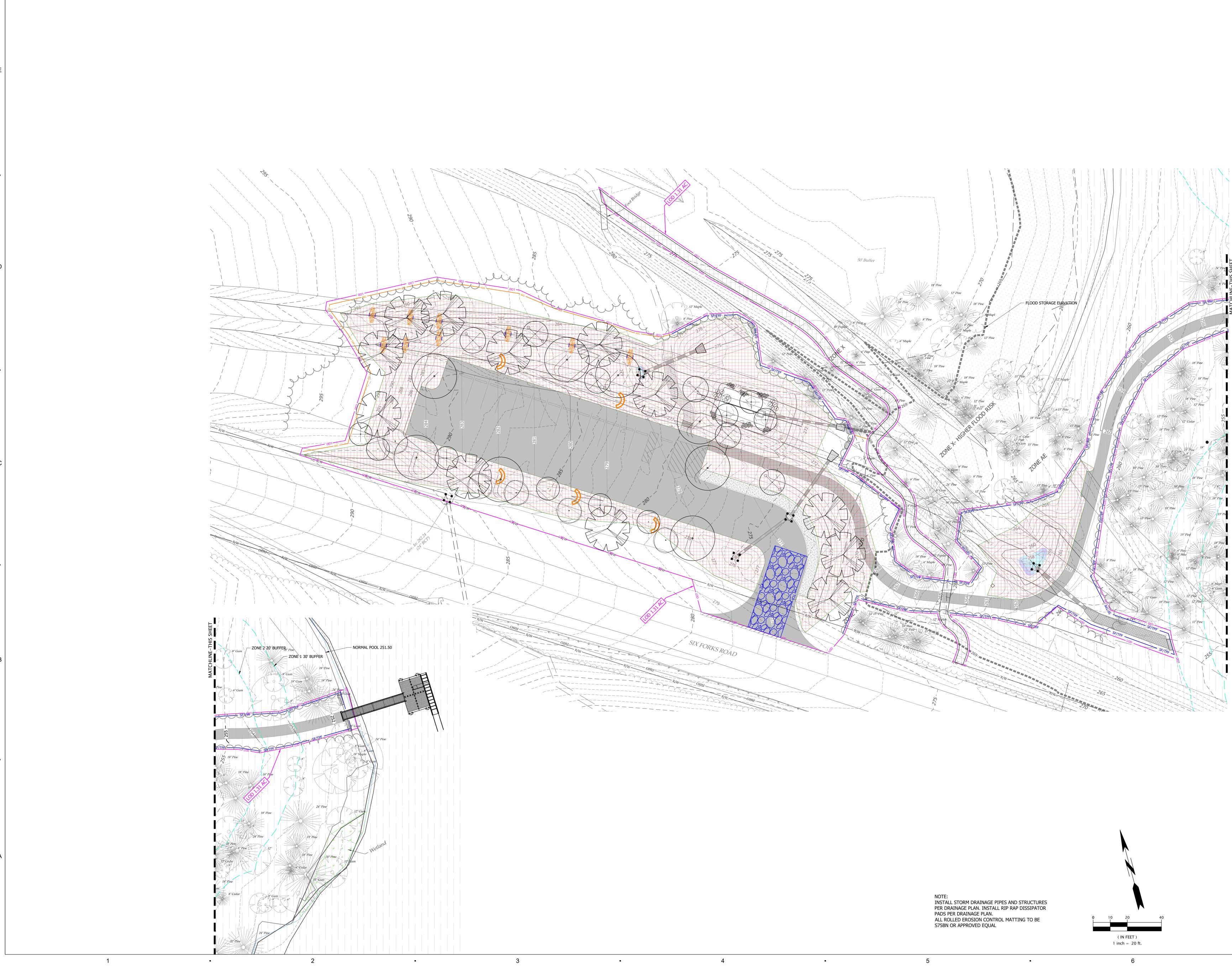
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REVISION NO. DATE 1 RESUBMISSION- SITE PLAN 11/08/2024

KEY MAP

3200 PLEASANT UNION CHURCH ROAD





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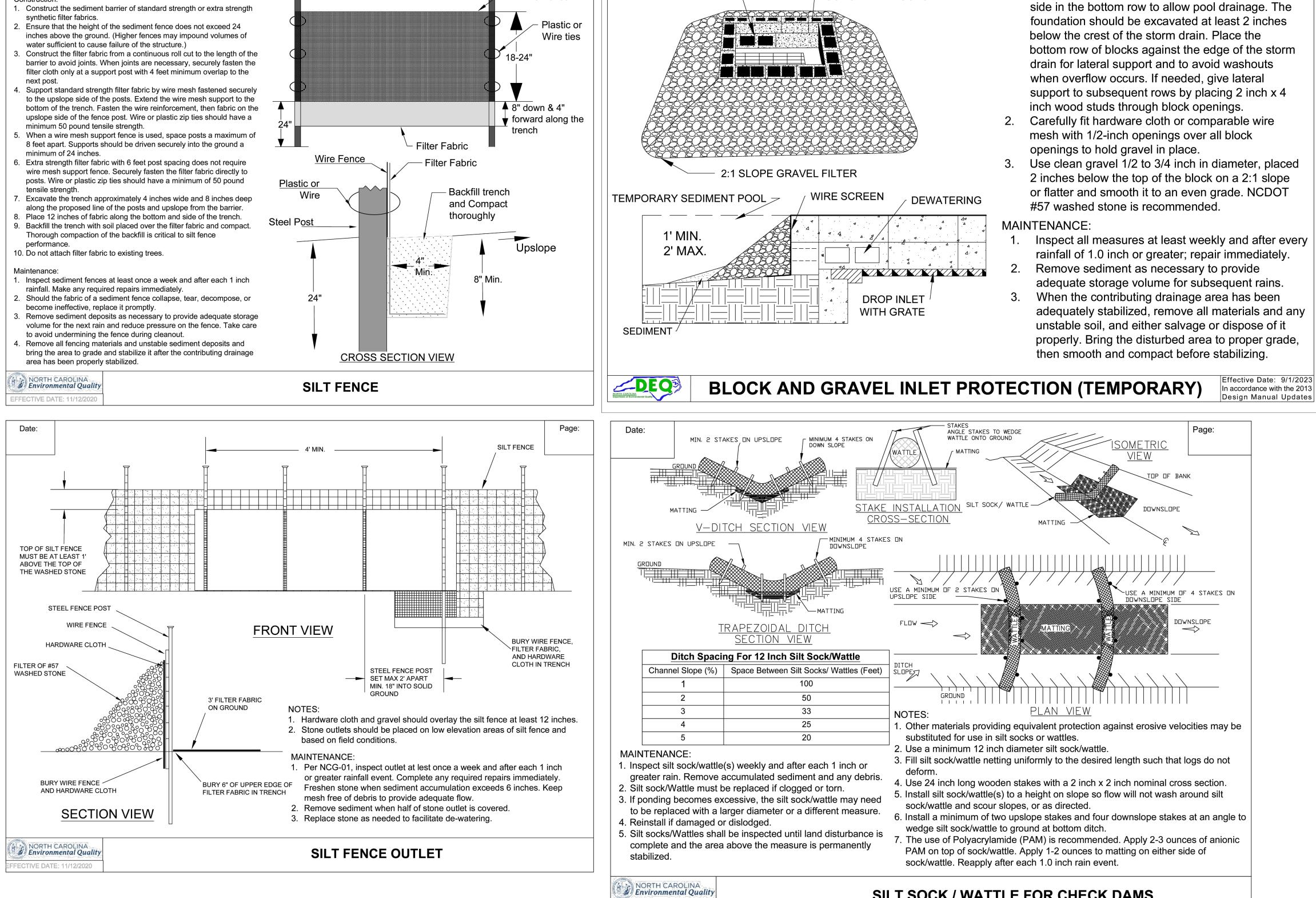
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Steel Post > 8' Max. Standard Strength fabric with wire fence 6' Max. Extra strength fabric without wire fence

Construction:

Date:

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DATE:

DEWATERING

Page:

Wire Fence

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FFECTIVE DATE:11/12/2020

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SILT SOCK / WATTLE FOR CHECK DAMS

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NOTES:

CONCRETE BLOCKS

1. Lay one block, on each side of the structure, on its

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EROSION CONTROL DETAILS

DATE: MARCH 21, 2024 DRAWN: THR CHECKED: AMW SHEET TITLE:

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NO. REVISION DATE RESUBMISSION- SITE PLAN 11/08/2024 1 _____

KEY MAP

ISSUE:

PROJECT NO:

3200 PLEASANT UNION CHURCH ROAD



COUNTY PARK



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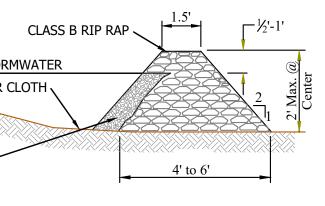
E	
Existing Slope TOP ELEV. OF STO	CL CL
	R CLOT
12" OF NCDOT #5 OR ~ #57 WASHED STONE	
	SIDE
D NOTES:	
HEIGHT AND WIDTH DETERMINED BY EXIST	
KEY RIP RAP INTO THE DAM FOR STABILIZA	IION.
Existing Slope	
	ries
	-6"-12" -
Varies	
	RONT
MAINTENANCE	
1. INSPECT CHECK DAMS AND CHANNELS AT LE (1/2 INCH OR GREATER) RAINFALL EVENT AN STRAW, LIMBS, OR OTHER DEBRIS THAT CO	ND REP
2. ANTICIPATE SUBMERGENCE AND DEPOSITIO HIGH FLOWS AROUND THE EDGES OF THE D) N ABO
3. REMOVE SEDIMENT ACCUMULATED BEHIND CHANNEL VEGETATION, ALLOW THE CHANNE AND PREVENT LARGE FLOWS FROM CARRYIN	
C C C C C C C C C C C C C C C C C C C	NG SEDI
L = THE DISTANCE	SUCH T
A AND B ARE O	
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NOTE: DO NOT PLACE	CHECK
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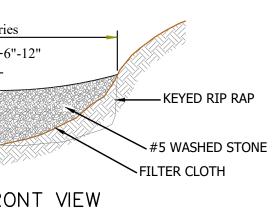
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G TOPOGRAPHY AND SEDIMENT STORAGE REQUIRED.



WEEKLY AND AFTER EACH SIGNIFICANT EPAIR IMMEDIATELY. CLEAN OUT SEDIMENT, CLOG THE CHANNEL WHEN NEEDED. BOVE THE CHECK DAM AND EROSION FROM CORRECT ALL DAMAGE IMMEDIATELY.

DAMS AS NEEDED TO PREVENT DAMAGE TO DRAIN THROUGH THE STONE CHECK DAM, DIMENT OVER THE DAM. ADD STONES TO AND CROSS SECTION.

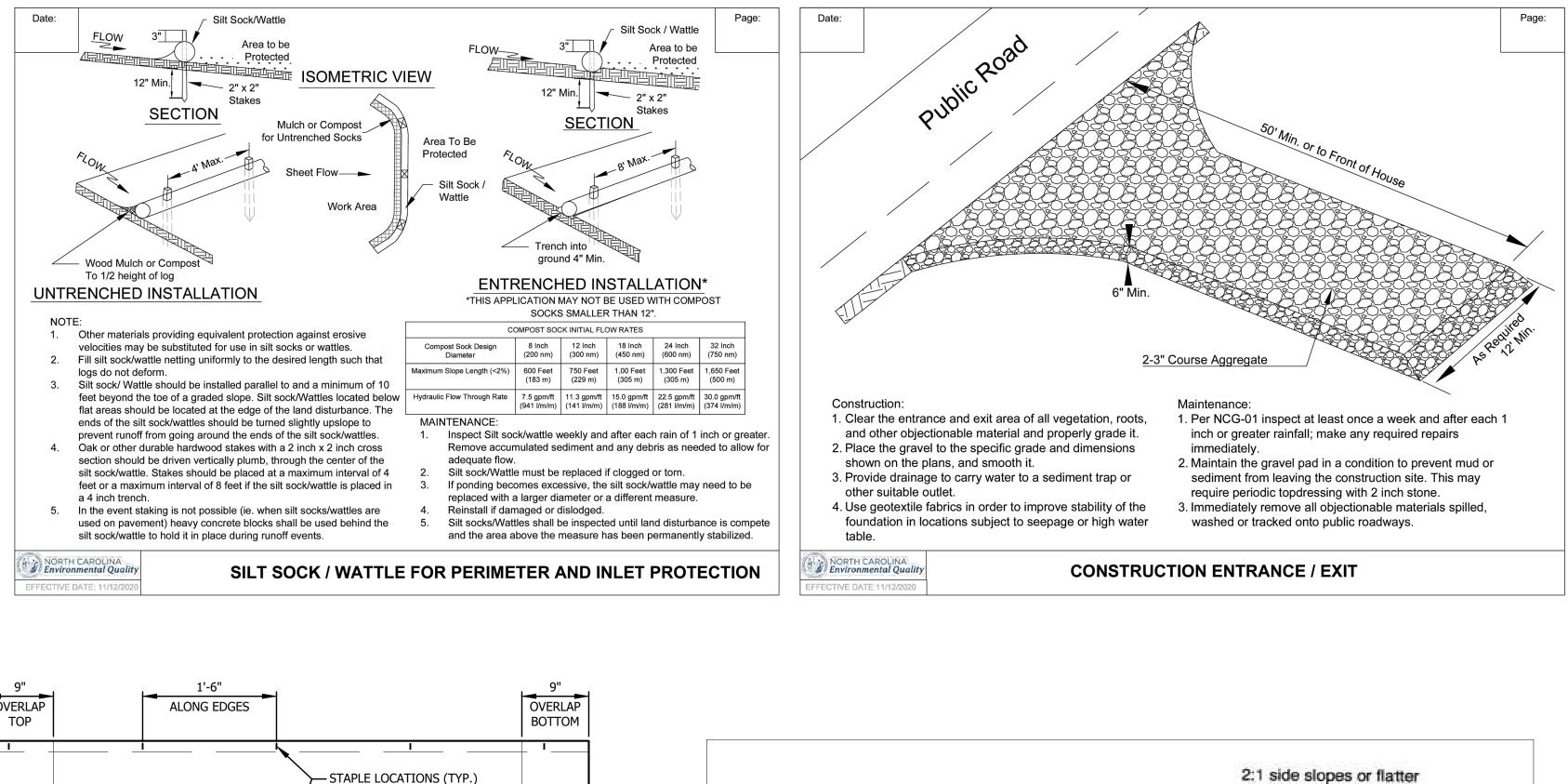
I THAT POINTS UAL ELEVATION

— L —

<u>CING</u>

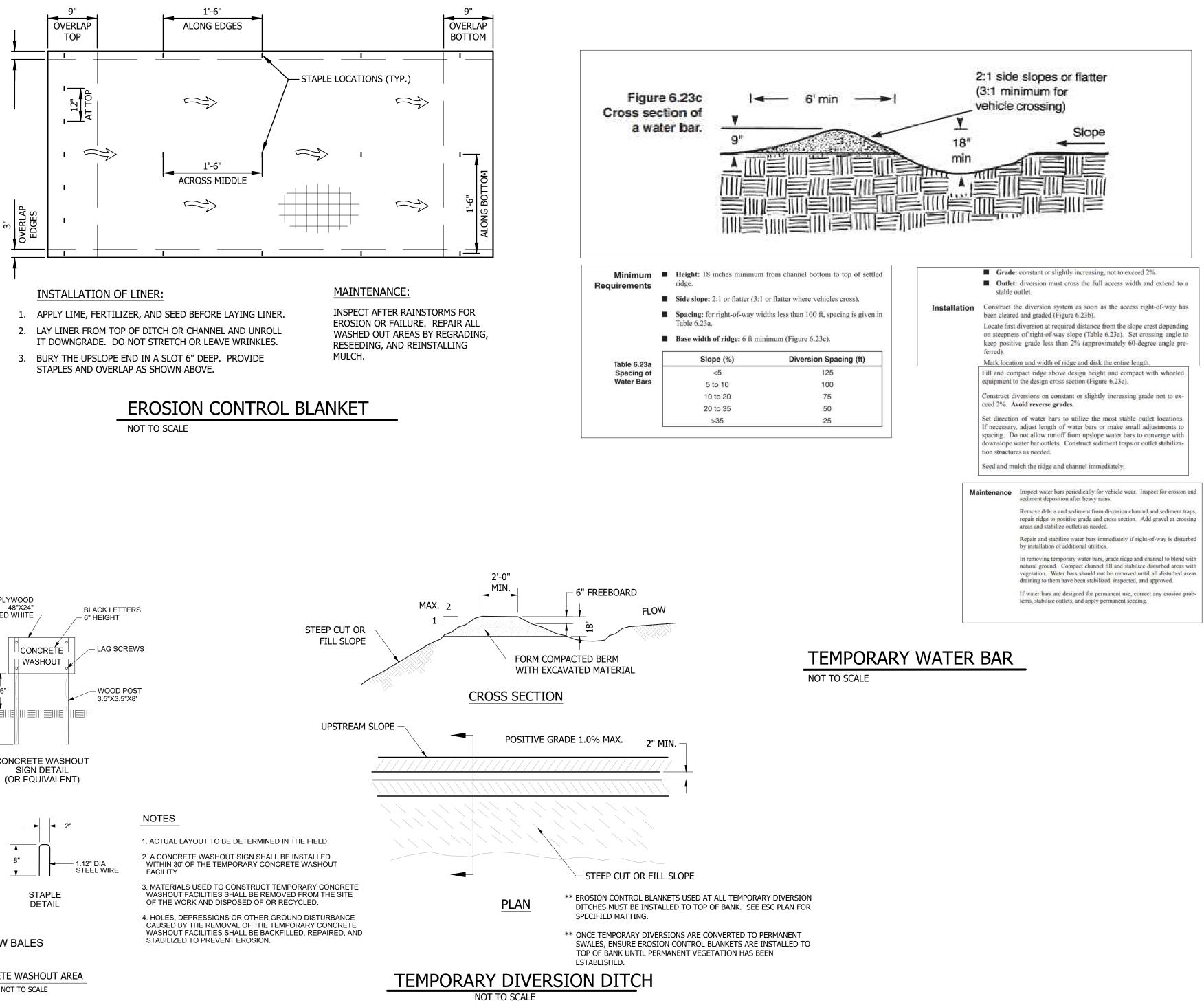
CK DAMS IN LIVE STREAMS.

HECK DAM TO SCALE

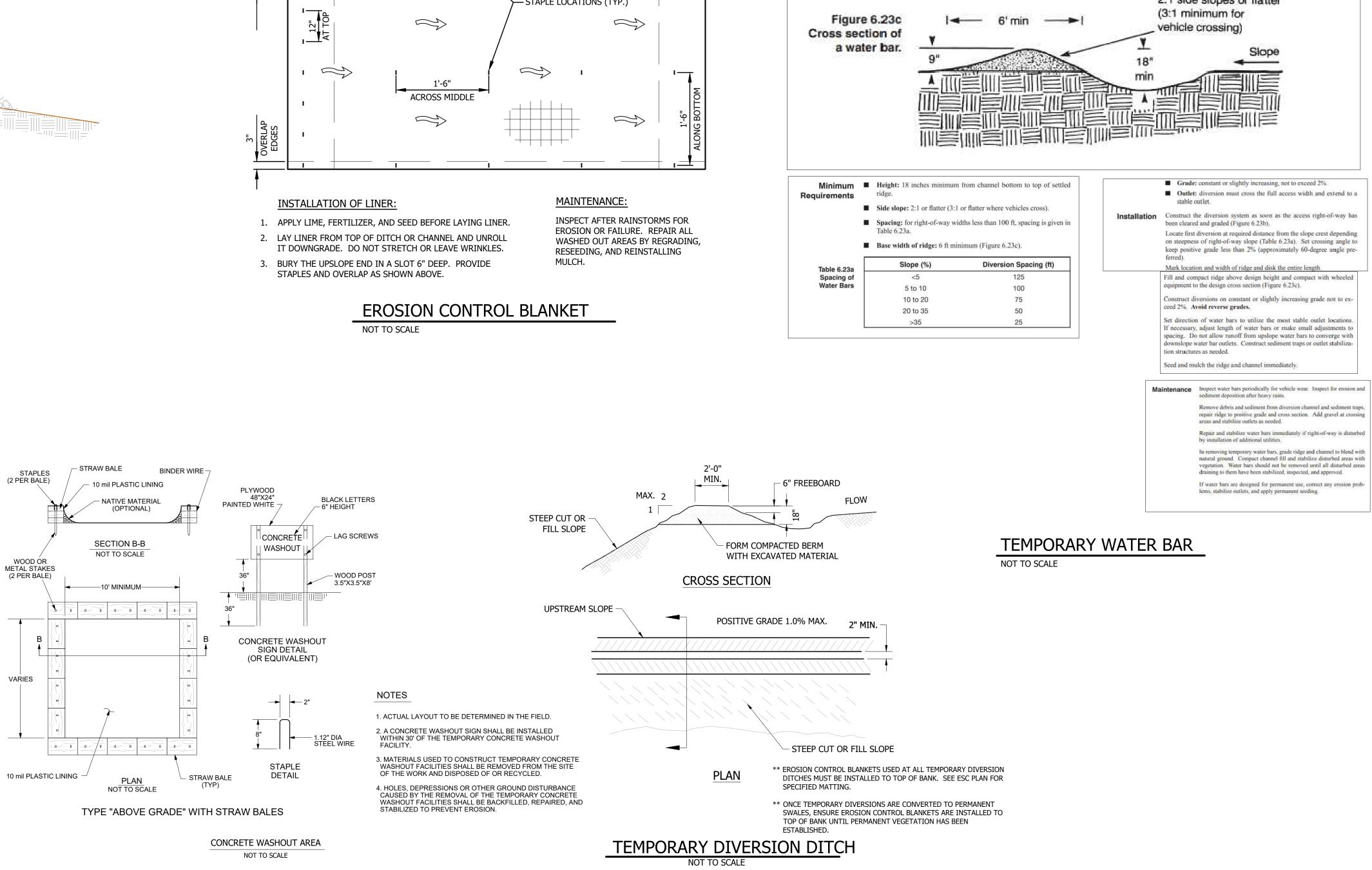


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EROSION CONTROL DETAILS

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NO. REVISION DATE RESUBMISSION- SITE PLAN 11/08/2024 1 _____ _____

KEY MAP



CHURCH ROAD



FACILITIES DESIGN AND

CONSTRUCTION

WAKE COUNTY OFFICE BUILDING

11TH FLOOR

RALEIGH, NC 27602

BLUE JAY POINT

CLIENT

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REGISTRATION



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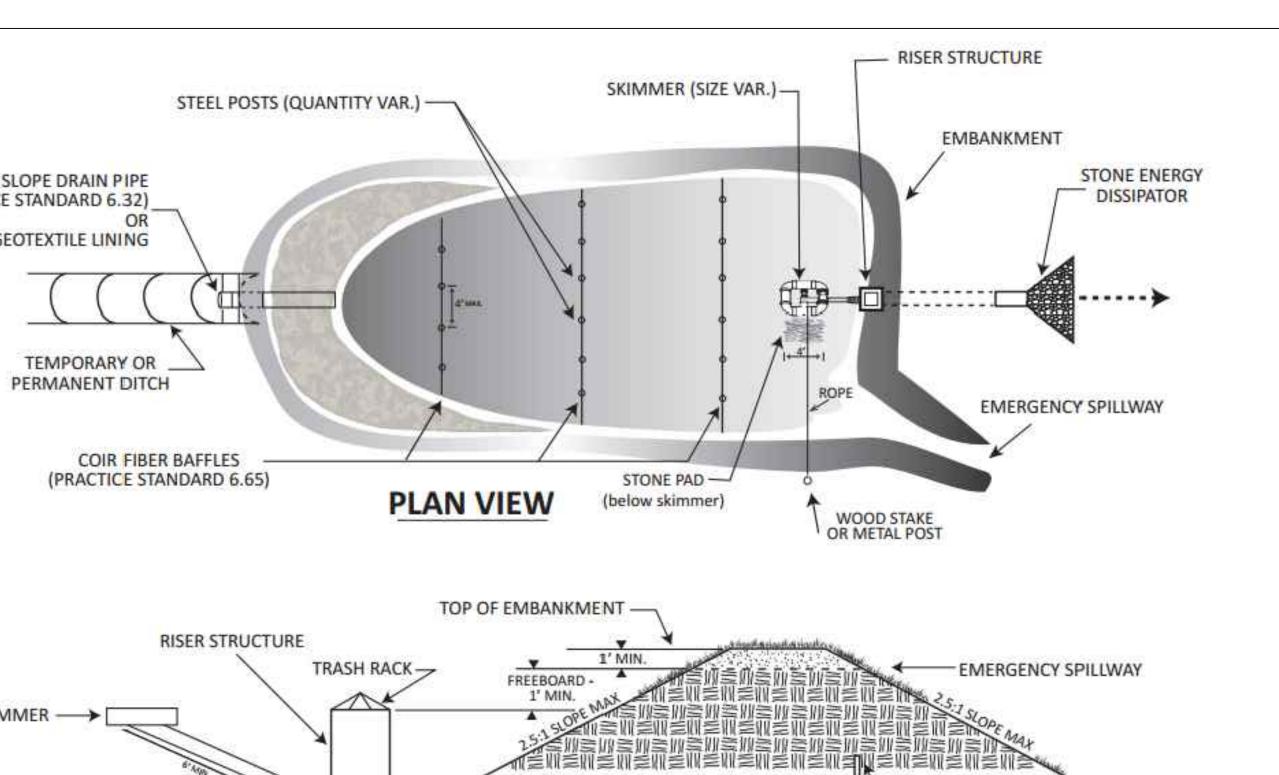
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PLASTIC SLOPE DRAIN PIPE (PRACTICE STANDARD 6.32) GEOTEXTILE LINING

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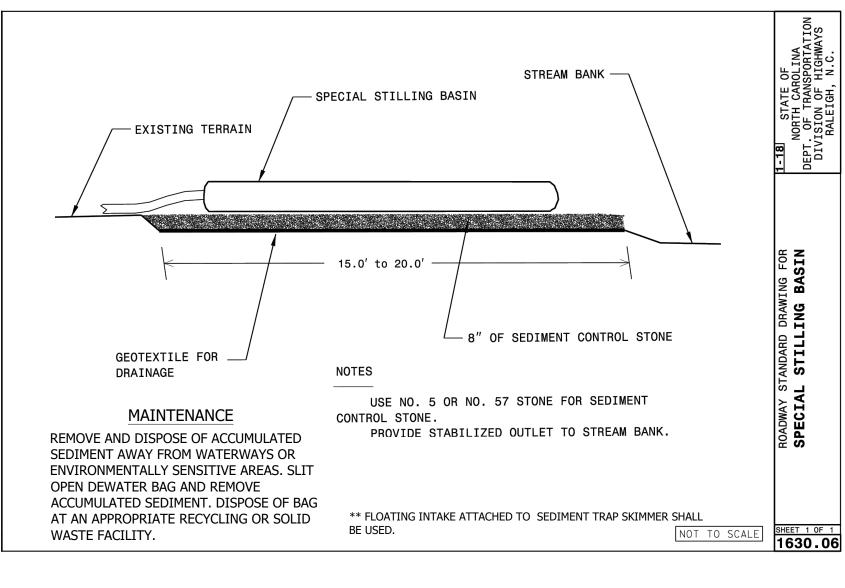


SKIMMER ---->

* 18888 CLASS B STONE PAD (4' X 4' X 1' MIN.)

NOTES

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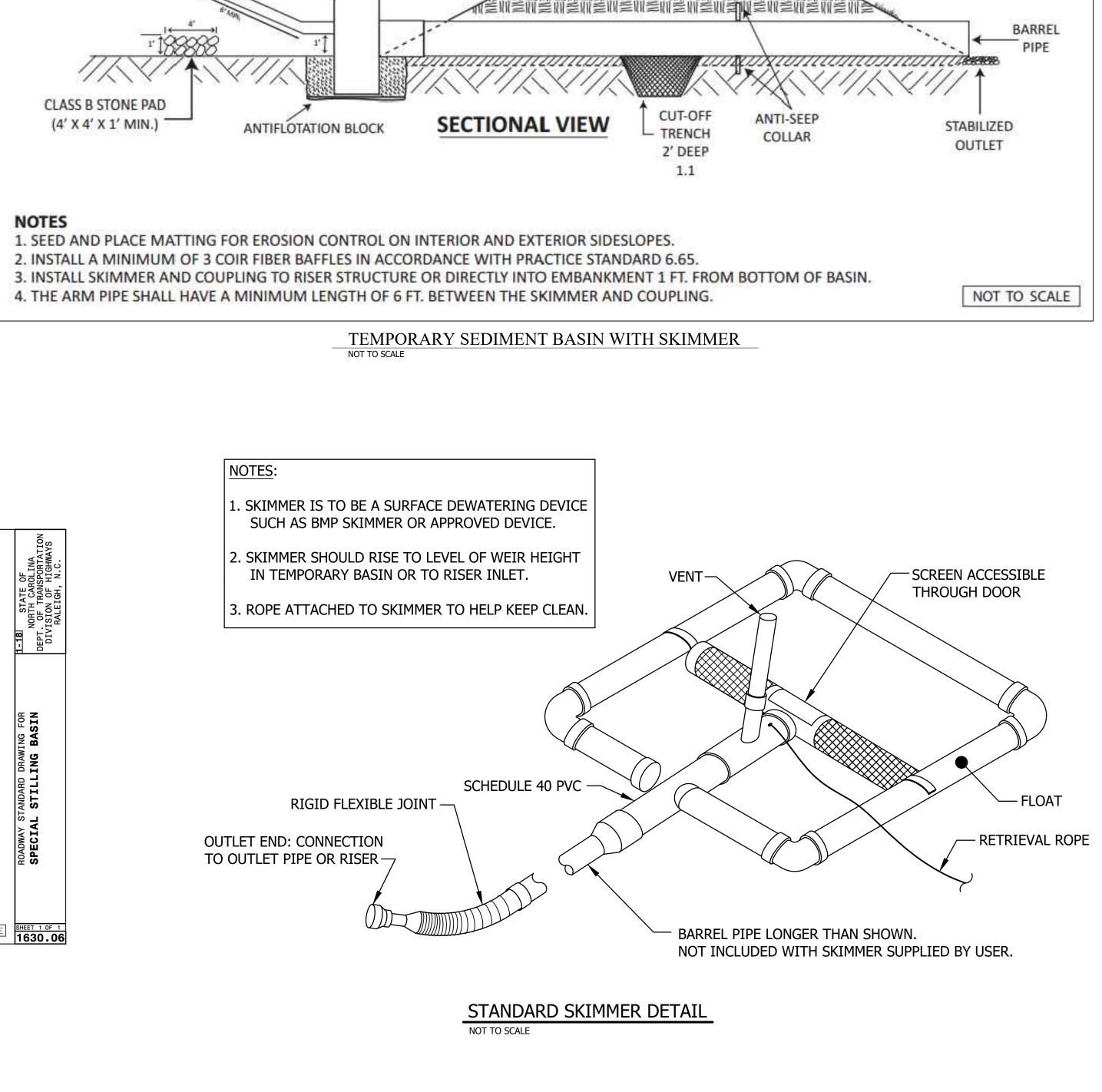


SILT BAG NOT TO SCALE

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EROSION CONTROL DETAILS

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PROJECT NO: DATE:

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MARCH 21, 2024 THR

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KEY MAP					
NO.	REVISION	DATE			
1	RESUBMISSION- SITE PLAN	11/08/2024			

CHURCH ROAD





FACILITIES DESIGN AND

CONSTRUCTION

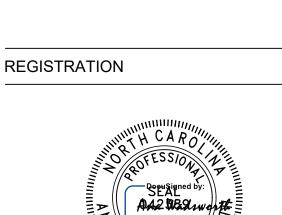
WAKE COUNTY OFFICE BUILDING

11TH FLOOR RALEIGH, NC 27602

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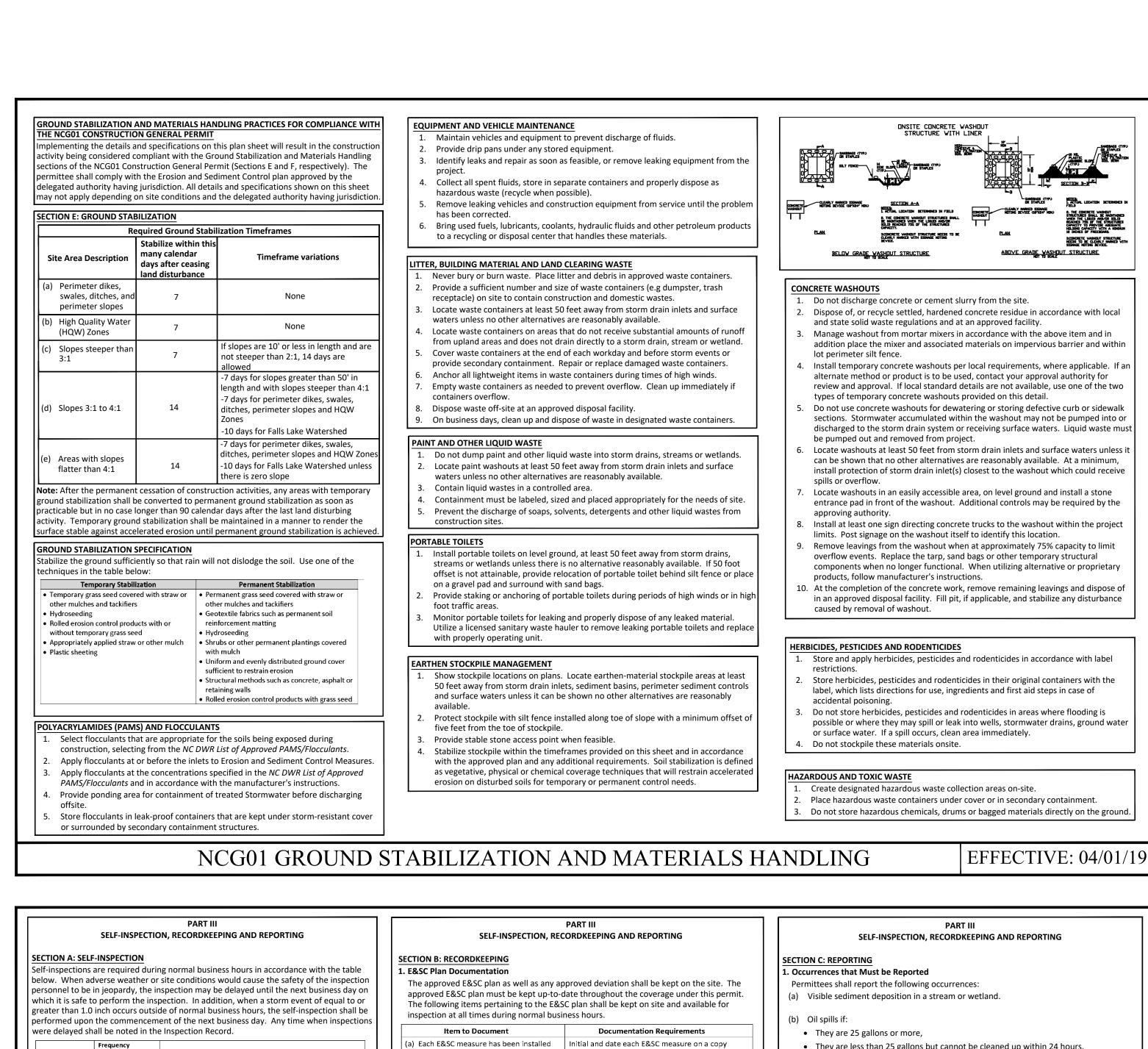
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Surface Surface 678, P.A.

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erformed upon	inch occurs outsi the commencem	pection. In addition, when a stor de of normal business hours, the ent of the next business day. An e Inspection Record.
Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are holiday periods, and no individual-d- available, record the cumulative rain m attended days (and this will determi needed). Days on which no rainfall occ "zero." The permittee may use anoth approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	 Identification of the measures inspect Date and time of the inspection, Name of the person performing the i Indication of whether the measures ware properly, Description of maintenance needs for Description, evidence, and date of co
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	 Identification of the discharge outfall Date and time of the inspection, Name of the person performing the i Evidence of indicators of stormwater sheen, floating or suspended solids o Indication of visible sediment leaving Description, evidence, and date of co
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	 If visible sedimentation is found outside of the following shall be made: Actions taken to clean up or stabilize the site limits, Description, evidence, and date of co An explanation as to the actions take releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased v stream has visible increased turbidity fro activity, then a record of the following sl 1. Description, evidence and date of co 2. Records of the required reports to th Regional Office per Part III, Section C,
(6) Ground stabilization measures	After each phase of grading	 The phase of grading (installation of pmeasures, clearing and grubbing, inst drainage facilities, completion of all activity, construction or redevelopme ground cover). Documentation that the required gromeasures have been provided within timeframe or an assurance that they soon as possible.
NOTE: The rain	inspection resets	s the required 7 calendar day insp
		DRA
r maintenance	or close out unles	ceive runoff from drainage areas ss this is infeasible. The circumst iment basins shall be allowed on
shall not co (b) The non-su (c) Dewaterin	ommence until th urface withdrawa g discharges are t	been provided with documenta e E&SC plan authority has approv has been reported as an anticipa reated with controls to minimize maintained dewatering tanks, w
(d) Vegetated (e) Velocity di	, upland areas of ssipation devices	the sites or a properly designed s such as check dams, sediment tra- e dewatering treatment devices c

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• They are less than 25 gallons but cannot be cleaned up within 24 hours, and does not significantly deviate from the of the approved E&SC plan or complete, date • They cause sheen on surface waters (regardless of volume), or | locations, dimensions and relative elevations | and sign an inspection report that lists each shown on the approved E&SC plan. • They are within 100 feet of surface waters (regardless of volume). E&SC measure shown on the approved E&SC e made during weekend o plan. This documentation is required upon the lay rainfall information is initial installation of the E&SC measures or if neasurement for those un Releases of hazardous substances in excess of reportable quantities under Section 311 the E&SC measures are modified after initial ine if a site inspection i of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA curred shall be recorded as her rain-monitoring dev (Ref: 40 CFR 302.4) or G.S. 143-215.85. (b) A phase of grading has been completed. | Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the d) Anticipated bypasses and unanticipated bypasses. construction phase. inspection, were operating c) Ground cover is located and installed Initial and date a copy of the approved E&SC Noncompliance with the conditions of this permit that may endanger health or the in accordance with the approved E&SC plan or complete, date and sign an inspection or the measure. orrective actions taken. report to indicate compliance with approved lls inspected, ground cover specifications. d) The maintenance and repair Complete, date and sign an inspection report. 2. Reporting Timeframes and Other Requirements inspection, requirements for all E&SC measures. r pollution such as oil After a permittee becomes aware of an occurrence that must be reported, he shall contact or discoloration, have been performed. the appropriate Division regional office within the timeframes and in accordance with the g the site, (e) Corrective actions have been taken Initial and date a copy of the approved E&SC orrective actions taken. other requirements listed below. Occurrences outside normal business hours may also be to E&SC measures. plan or complete, date and sign an inspection e site limits, then a recorreported to the Department's Environmental Emergency Center personnel at (800) report to indicate the completion of the 858-0368. e the sediment that has lef corrective action. 2. Additional Documentation to be Kept on Site Occurrence Reporting Timeframes (After Discovery) and Other Requirements orrective actions taken, a In addition to the E&SC plan documents above, the following items shall be kept on the en to control future (a) Visible sediment • Within 24 hours, an oral or electronic notification. site and available for inspectors at all times during normal business hours, unless the deposition in a • Within 7 calendar days, a report that contains a description of the isible sedimentation or a Division provides a site-specific exemption based on unique site conditions that make stream or wetland sediment and actions taken to address the cause of the deposition. om the construction Division staff may waive the requirement for a written report on a this requirement not practical: shall be made: case-by-case basis. prrective actions taken, ar • If the stream is named on the NC 303(d) list as impaired for sediment-(a) This General Permit as well as the Certificate of Coverage, after it is received. he appropriate Division C, Item (2)(a) of this permit related causes, the permittee may be required to perform additional perimeter E&SC monitoring, inspections or apply more stringent practices if staff Records of inspections made during the previous twelve months. The permittee shall stallation of storm determine that additional requirements are needed to assure compliance record the required observations on the Inspection Record Form provided by the land-disturbing with the federal or state impaired-waters conditions. Division or a similar inspection form that includes all the required elements. Use of ent, permanent (b) Oil spills and • Within 24 hours, an oral or electronic notification. The notification electronically-available records in lieu of the required paper copies will be allowed i release of shall include information about the date, time, nature, volume and ound stabilization shown to provide equal access and utility as the hard-copy records. hazardous location of the spill or release. n the required / will be provided as substances per Item 3. Documentation to be Retained for Three Years 1(b)-(c) above All data used to complete the e-NOI and all inspection records shall be maintained for a period c) Anticipated A report at least ten days before the date of the bypass, if possible. of three years after project completion and made available upon request. [40 CFR 122.41] pection requirement. bypasses [40 CFR The report shall include an evaluation of the anticipated quality and 122.41(m)(3)] effect of the bypass. (d) Unanticipated • Within 24 hours, an oral or electronic notification. PART II, SECTION G, ITEM (4) bypasses [40 CFR • Within 7 calendar days, a report that includes an evaluation of the W DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT 122.41(m)(3)] quality and effect of the bypass (e) Noncompliance • Within 24 hours, an oral or electronic notification. of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down with the conditions . Within 7 calendar days, a report that contains a description of the tances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). of this permit that noncompliance, and its causes: the period of noncompliance. nly when all of the following criteria have been met: may endanger including exact dates and times, and if the noncompliance has not health or the been corrected, the anticipated time noncompliance is expected to environment[40 continue; and steps taken or planned to reduce, eliminate, and ation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal CFR 122.41(I)(7)] prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6). wed these items. • Division staff may waive the requirement for a written report on a bated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit, case-by-case basis. e discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include weir tanks, and filtration systems, stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above, raps, and riprap are provided at the discharge points of all dewatering devices, and described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/1

TEMPORARY SEEDING (BY SEASON)

FALL SEEDING MIXTURE RATE (lb/acre) Rye (grain) SEEDING DATES Mountains - Aug 15 thru Dec 15 Coastal plain and piedmont - Aug 15 thru Dec 30 SOIL AMENDMENTS Follow recommendation of soil tester or apply 2,000 lb/acre (4,000 lbs/acre in clay soils) Ground Agricultural Limestone, 1000 lb/acre 10-10-10 fertilizer, and 400 gallons/acre asphalt emulsion tack rate. Incorporate Limestone and Fertilizer into the top 4"-6" of soil. **MULCH** Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting MAINTENANCE Repair and fertilize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal plain) lespedeza in late February or early March.

RATE (lb/acre) SEEDING MIXTURE Rye (grain) Annual Lespedeza (kobe in piedmont and coastal plain, Korean in mountains 50

LATE WINTER AND EARLY SPRING

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Omit annual Lespedeza when duration of temporary cover is not to extend beyond June.

SEEDING DATES Mountains - Above 2,500 ft: Feb 15 thru May15 Below 2,500 ft: Feb 1 thru May 1 Piedmont - Jan 1 thru May 1

Coatal Plain - Dec 1 thru Apr 15

SOIL AMENDMENTS Follow recommendation of soil tester or apply 2,000 lb/acre (4,000 lbs/acre in clay soils) Ground Agricultural Limestone, 1000 lb/acre 10-10-10 fertilizer, and 400 gallons/acre asphalt emulsion tack rate. Incorporate Limestone and Fertilizer into the top 4"-6" of soil.

<u>MULCH</u> Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting

MAINTENANCE

Refertilize if growth is not fully adequate. Reseed, refertilze and mulch immediately following erosion or other damage.

STABILIZATION NOTES

- 1) STABILIZATION FOR THIS PROJECT SHALL COMPLY WITH THE TIMEFRAME GUIDELINES AS SPECIFIED BY THE NCG-01 GENERAL CONSTRUCTION PERMIT EFFECTIVE AUGUST 2, 2011 ISSUED BY NCDWO. TEMPORARY OR PERMANENT GROUND COVER STABILIZATION SHALL OCCUR WITHIN 7 CALENDAR DAYS FROM LAST LAND-DISTURBING ACTIVITIES, WITH THE FOLLOWING EXCEPTIONS IN WHICH TEMPORARY OR PERMANENT GROUND COVER SHALL BE PROVIDED IN 14 CALENDAR DAYS FROM LAST LAND DISTURBING ACTIVITIES. • SLOPES BETWEEN 2:1 AND 3:1, WITH A SLOPE LENGTH OF 10 FEET OR LESS
- SLOPES 3:1 OR FLATTER, WITH A SLOPE LENGTH OF 50 FEET OR LESS. SLOPES 4:1 OR FLATTER

TOTAL LIMITS OF DISTURBANCE: 7.75 ACRES SURFACE WATER: FALLS LAKE STREAM INDEX: 27-(5.5) CLASSIFICATION: WS-IV,B;NSW,CA

German Millet 40

<u>SUMMER</u>

RATE (lb/acre)

In the piedmont and mountains, a small stemmed Sundagrass may be substituted at a rate of 50 lb/acre.

SEEDING DATES Mountains - May 15 thru Aug 15 Piedmont - May 1 thru Aug 15

SEEDING MIXTURE

Coastal plain - Apr 15 thru Aug 15

SOIL AMENDMENTS Follow recommendation of soil tester or apply

2,000 lb/acre (4,000 lbs/acre in clay soils) Ground Agricultural Limestone, 1000 lb/acre 10-10-10 fertilizer, and 400 gallons/acre asphalt emulsion tack rate. Incorporate Limestone and Fertilizer into the top 4"-6" of soil.

MULCH

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting

MAINTENANCE

Refertilze if growth is not fully adequate. Reseed, refertilze and mulch immediately following erosion or other damage.

PERMANENT SEEDING

Planting Dates	Grass Type	Pounds/Acre
Aug. 15-Nov. 1	Tall Fescue	300
Nov, 1- Mar. 1	Tall Fescue	300
&	Abruzzi Rye	25
Mar. 1 - April 15	Tall Fescue	300
April 15 - June 30	Hulled Common	25
	Bermuda Grass	
July 1- Aug. 15	Tall Fescue	120
&	Browntop Millet	35
&	Sorghum-Sundan Hybrid	ls 30
Lime		4,000
Fertilizer	10-10-10	1,000
Mulch	Straw	4,000
Incorporate Limestone soil.	e and Fertilizer into the top 4"-	-6" of



EROSION CONTROL DETAILS

CHECKED: AMW SHEET TITLE:

MARCH 21, 2024 THR

PROJECT NO:

DATE: DRAWN:

ISSUE:

100% CONSTRUCTION DOCS

NO. REVISION DATE 1 RESUBMISSION- SITE PLAN 11/08/2024 ----------

KEY MAP

3200 PLEASANT UNION **CHURCH ROAD**



CONSTRUCTION

WAKE COUNTY OFFICE BUILDING

11TH FLOOR

RALEIGH, NC 27602

BLUE JAY POINT

COUNTY PARK

CLIENT

REGISTRATION

RALEIGH, NC 27604 WWW.INSITUSTUDIO.US CIVIL ENGINEER THE WOOTEN COMPANY

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PHASED EROSION CONTROL SEQUENCE

EROSION AND SEDIMENT CONTROL (E&SC) PERMIT AND CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED BEFORE ANY LAND DISTURBING ACTIVITIES (INCLUDING TIMBERING AND DEMOLITION) OCCUR.

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INITIAL PHASE

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- 1. EROSION AND SEDIMENT CONTROL (E&SC) PERMIT AND A CERTIFICATE OF COVERAGE MUST BE OBTAINED BEFORE ANY LAND DISTURBING ACTIVITIES (INCLUDING TIMBERING AND DEMOLITION) OCCUR.
- 2. POST SEDIMENTATION & EROSION CONTROL APPROVAL AT A CONSPICUOUS LOCATION AT THE PROJECT SITE.
- 3. CALL NCDEQ AT THE RALEIGH REGIONAL OFFICE AT 919-791-4200 TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO PROJECT ACTIVATION.
- 4. CONSTRUCTION ACTIVITIES THAT HAVE AN E&SC PLAN APPROVED ON OR AFTER APRIL 1, 2019 ARE REQUIRED TO FILL OUT AND SUBMIT AN ELECTRONIC NOTICE OF INTENT (E-NOT) FORM. ALL CONSTRUCTION ACTIVITIES AREA REQUIRED TO
- FOLLOW THE NEW NCG01 PERMIT REGARDLESS OF WHEN THEY ARE APPROVED. 5. EROSION AND SEDIMENT CONTROL (E&SC) PERMIT AND A CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED BEFORE ANY LAND DISTURBING ACTIVITIES OCCUR.
- 6. IN ADDITION TO THE REQUIREMENTS OF THIS PLAN AND OUTLINED IN THE PROJECT SPECIFICATIONS, THE CONTRACTOR SHALL ADHERE TO THE LATEST NCDEQ SEDIMENTATION AND EROSION CONTROL MANUAL FOR GUIDANCE ON CONSTRUCTION OF MEASURES REQUIRED BY THIS PLAN. CONTRACTOR SHALL ALSO ADHERE TO THE SELF INSPECTION AND SELF REPORTING AND NPDES AS REOUIRED UNDER THE SEDIMENTATION POLLUTION CONTROL ACT AND NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES, NCG 010000. SEE PLAN SHEET
- 7. A RAIN GAUGE WILL BE INSTALLED ON THE SITE, AND A WRITTEN RECORD OF DAILY RAINFALL AMOUNTS SHALL BE RETAINED AND MADE AVAILABLE TO DIVISION OF WATER QUALITY UPON REQUEST. AN APPROVED COPY OF THE E&SC PLAN WITH PLACARD & APPROVAL LETTER, AN APPROVED COPY OF NPDES PERMIT WITH A MINIMUM OF 30 DAYS OF SELF-INSPECTION REPORTS ARE TO BE KEPT ON SITE UNTIL PROJECT CLOSURE.
- 8. INSTALL CONSTRUCTION ENTRANCE AS INDICATED ON THE DRAWINGS. 9. INSTALL ALL PERIMETER CONTROLS, SEDIMENT BASIN AND ROCK DAM SEDIMENT BASINS, DIVERSION DITCHES WITH WATTLES AND OUTLET PROTECTION AS INDICATED ON THE DRAWINGS. *NOTE: ES MEASURES ARE TO BE INSTALLED AT ANY AREAS USED FOR CONTRACTOR
- EQUIPMENT STAGING, LAY DOWN/SPOIL/WASTE AREAS. 10. STABILIZE ALL RUNOFF CONVEYANCE SYSTEMS AND INSTALL INLET PROTECTION AND OUTLET PROTECTION AS INDICATED ON THE DRAWINGS.
- 11. ONCE THE TEMPORARY MEASURES HAVE BEEN INSTALLED, CONTACT THE STATE EROSION CONTROL FIELD ENGINEER REPRESENTATIVE TO REQUEST INSPECTION

OF INSTALLED MEASURES PRIOR TO CONSTRUCTION CLEARING AND DEMOLITION. 12. AFTER THE STATE HAS CONDUCTED AN INSPECTION AND PROVIDED AN AUTHORIZATION TO PROCEED. THE REMAINING WORK MAY BEGIN.

SELF-INSPECTION REQUIREMENTS

THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS BECAME EFFECTIVE OCTOBER 1, 2010. TO SIMPLIFY DOCUMENTATION OF SELF-INSPECTION REPORTS AND NPDES SELF-MONITORING

REPORTS, A COMBINED FORM IS NOW AVAILABLE. THE NEW FORM WAS DEVELOPED TO SATISFY THE REQUIREMENTS OF THE SEDIMENTATION POLLUTION CONTROL ACT AND THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES, NCG 010000.

BEGINNING AUGUST 1, 2013, THE DIVISION OF ENERGY, MINERAL. AND LAND RESOURCES IS RESPONSIBLE FOR ADMINISTERING BOTH THE SPCA AND THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES, NCG 010000. THE COMBINED FORM SHOULD MAKE IT EASIER TO COMPLY WITH SELF-INSPECTION REQUIREMENTS.

THE COMBINED SELF-MONITORING FORM IS AVAILABLE AS A PDF AND WORD DOCUMENT FROM THE LAND OUALITY WEBSITE:

HTTPS://DEQ.NC.GOV/ABOUT/DIVISIONS/ENERGY-MINERAL-LAND-RESOURCES/EROSION-SEDIMENT-CONTROL/FORMS

EROSION CONTROL MAINTENANCE

- 1. THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS BECAME EFFECTIVE OCTOBER 1, 2010. TO SIMPLIFY DOCUMENTATION OF SELF-INSPECTION REPORTS AND NPDES SELF-MONITORING REPORTS, A COMBINED FORM IS NOW AVAILABLE. THE NEW FORM WAS DEVELOPED TO SATISFY THE REQUIREMENTS OF THE SEDIMENTATION POLLUTION CONTROL ACT AND THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES, NCG 010000. BEGINNING AUGUST 1, 2013, THE DIVISION OF ENERGY, MINERAL, AND LAND RESOURCES IS RESPONSIBLE FOR ADMINISTERING BOTH THE SPCA AND THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES, NCG 010000. THE COMBINED FORM SHOULD MAKE IT EASIER TO COMPLY WITH SELF-INSPECTION REQUIREMENTS. THE COMBINED SELF-MONITORING FORM IS AVAILABLE AS A PDF AND WORD DOCUMENT FROM THE LAND QUALITY WEB SITE:
- https://deq.nc.gov/about/divisions/energy-mineral-land-resources/erosion-sediment-control/forms 2. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL (≥1.0 IN.) BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- 3. SEDIMENT WILL BE REMOVED FROM THE BEHIND ANY EROSION CONTROL DEVICES WHEN STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. GRAVEL WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS PROPERLY. 4. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 6 INCHES DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- 5. SEDIMENTS WILL BE REMOVED FROM THE GRAVEL INLET PROTECTION AND ALL INLET PROTECTIONS AFTER EACH SIGNIFICANT
- RAINFALL EVENT. 6. ANY DEWATERING OF SEDIMENT CONTAINMENT DEVICES FOR MAINTENANCE, REMOVAL OR CONVERSION PURPOSES IS TO BE
- DONE THROUGH A SILT BAG. 7. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATIONS IN THE
- VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. 8. SEE NCDEQ SEDIMENTATION AND EROSION CONTROL PLANNING AND DESIGN MANUAL FOR FURTHER INSTALLATION/MAINTENANCE INSTRUCTIONS.

CONTACT INFORMATION FOR RESPONSIBLE PARTY FOR MAINTENANCE ERIC STAEHLE, WAKE COUNTY 919.856.6369

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CONSTRUCTION PHASE

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1. BEGIN EARTHWORK/GRADING AS INDICATED ON THE DRAWINGS. 2. STABILIZE DENUDED AREAS AND STOCKPILE AS SOON AS PRACTICAL.

- STOCKPILES, LAYDOWN OR WASTE AREAS, CONCRETE WASHOUTS, PORTABLE TOILETS, AND FUELS MUST BE LOCATED AT LEAST 50 FEET AWAY FROM ANY OPEN WATER CONVEYANCES, SUCH AS BASINS, DITCHES, STORM DRAIN INLETS, ETC. THE LOCATION OF THESE ACTIVITIES MAY BE FIELD ADJUSTED IF THE DISTANCE REQUIREMENTS ARE MET.
- 3. INSTALL STORM DRAINAGE, WATER, ELECTRIC, AND OTHER PROPOSED UTILITIES AS INDICATED ON THE DRAWINGS.
- 4. MAINTAIN EROSION CONTROL DEVICES AS NECESSARY DURING CONSTRUCTION OF THE BUILDING AND INSTALLATION OF UTILITIES. INSPECT DEVICES AFTER EVERY RAINFALL EVENT AND CLEAN BEHIND THE DEVICES WHEN HALF-FULL. REPAIR OR REPLACE ANY MEASURES NOT PERFORMING AS INTENDED.
- 5. ANY DEWATERING FOR ESC MAINTENANCE OR UTILITY/STORM TRENCHING TO BE DONE THROUGH A SILT BAG. ALL SILT BAGS ARE TO BE CONTINUOUSLY MONITORED DURING OPERATION.
- 6. ALL DITCHES WILL BE LINED TO THE TOP OF BANK.
- 7. ANY BARE SOILS BETWEEN DOWNSTREAM TOE OF BASIN OR DIVERSIONS AND PERIMETER MEASURES IS TO BE IMMEDIATELY SEEDED, MULCHED, AND TACKED AFTER INSTALLATION.
- 8. UPSTREAM AND DOWNSTREAM SEDIMENT BASIN SLOPES WILL BE COVERED WITH A SUITABLE RECP IMMEDIATELY AFTER SEEDING.
- 9. INSTALL ADDITIONAL SILT FENCE OVER AND AROUND TOP OF ALL CULVERTS AND ALONG SIDES OF OUTLET PROTECTION. 10. ANY VEGETATION ALONG THE TOP OF DRAINAGE WAY WILL BE MAINTAINED
- WITHOUT THE USE OF HEAVY EQUIPMENT. SILT FENCE WILL BE INSTALLED ALONG TOP OF BANK. AND THE STUMPS AND ROOT WADS WILL BE LEFT IN PLACE UNTIL AN APPLICABLE CROSSING IS MADE AND DISTURBED SOILS ARE PERMANENTLY STABILIZED.
- 11. INSTALL WATER BARS THAT DIRECT RUN-OFF TO ADDITIONAL SILT FENCE OUTLETS TO CONTROL WATER VELOCITY UNTIL THE TRAILS ARE COMPLETED AND PERMANENTLY STABILIZED.
- 12. INSTALL GRAVEL INLET PROTECTION AFTER PROPOSED STORM WATER NETWORK HAS BEEN INSTALLED AS WELL AS WATTLES ONCE DITCHES HAVE BEEN GRADED. PERMANENT EROSION CONTROL MEASURE INCLUDING RIPRAP WILL BE INSTALLED AT THIS TIME.
- 13. ALL SEDIMENT CONTAINMENT DEVICES MUST BE MAINTAINED UNTIL ALL AREAS HAVE BEEN STABILIZED WITH THE ESTABLISHMENT OF PERMANENT VEGETATION.
- 14. PERIMETER MEASURES MUST BE LEFT IN PLACE UNTIL ALL UPLAND AREAS ARE PERMANENTLY STABILIZED. AFTER SITE IS PERMANENTLY STABILIZED. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES, AND PROVIDE PERMANENT SEEDING WHERE TEMPORARY MEASURES HAVE BEEN REMOVED AND GROUND COVER IS NOT ADEQUATE. SEDIMENT BASINS MAY NOT BE REMOVED OR CONVERTED TO PERMANENT SCMS UNTIL ALL UPLAND AREAS ARE PERMANENTLY STABILIZED.
- 15. BEGIN PAVING AND INSTALL CURB AND/OR CURB AND GUTTER AS INDICATED ON THE DRAWINGS.

STABILIZATION PHASE 1. BEGIN FINE GRADING OF SITE.

- 2. INSTALL PERMANENT SEEDING/SOD AS REQUIRED. SEE LANDSCAPE PLAN FOR SPECIFIC GROUNDCOVER.
- 3. COMPLY WITH THE GROUND STABILIZATION REQUIREMENTS AS PER PLANS AND SPECIFICATIONS. GROUND STABILIZATION WILL BE APPLIED WITHIN 14 CALENDAR DAYS FROM LAST LAND DISTURBING ACTIVITY. FOR STEEP SLOPES, THAT AREA MUST BE STABILIZED WITHIN 7 CALENDAR DAYS. FOR CRITICAL AREAS, GROUND STABILIZATION WILL BE APPLIED AT THE END OF THE DAY.
- 4. PERMANENT GROUNDCOVER SHALL BE ESTABLISHED IN 15 WORKING DAYS OR 90 CALENDAR DAYS, WHICHEVER IS SHORTER. HOWEVER, NPDES GROUNDCOVER REQUIREMENTS TAKE PRECEDENCE.
- 5. UPON COMPLETION OF FINAL CONSTRUCTION AND ONCE SITE IS 70% STABILIZED. REMOVE ANY ACCUMULATED SEDIMENT FROM SEDIMENT BASINS AND DIVERSION DITCHES. THEN CONVERT THESE DEVICES TO PERMANENT STORMWATER CONTROL MEASURES AS INDICATED ON THE DRAWINGS.
- 6. REMOVE ANY ACCUMULATED SEDIMENT FROM STORM DRAINAGE STRUCTURES.
- 7. REMOVE ALL TEMPORARY MEASURES, AND RE-ESTABLISH GRADES. SEED AND MULCH PER PLANS AND SPECIFICATIONS. 8. REOUEST AN INSPECTION BY THE ENGINEER AND CONTACT THE STATE
- EROSION CONTROL FIELD ENGINEER REPRESENTATIVE TO REQUEST FINAL INSPECTION.
- 9. WHEN THE PROJECT IS COMPLETE, THE PERMITTEE SHALL CONTACT NCDEO TO CLOSE OUT, VIA INSPECTION REPORT; THE PERMITTEE SHALL VISIT DEQ.NC.GOV /NCG01 TO SUBMIT AN ELECTRONIC NOTICE OF TERMINATION (E-NOT). A \$120 ANNUAL GENERAL PERMIT FEE WILL BE CHARGED UNTIL THE E-NOT HAS BEEN CLOSED OUT.

THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION CONTROL DEVICES THROUGH THE PROJECT DURATION.

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PERMITTING OF LAND DISTURBING ACTIVITY

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IF THE SAME PERSON CONDUCTS THE LAND DISTURBING ACTIVITY & ANY RELATED BORROW OR WASTE ACTIVITY, THE RELATED BORROW OR WASTE ACTIVITY SHALL CONSTITUTE PART OF THE LAND-DISTURBING ACTIVITY UNLESS THE BORROW OR WASTE ACTIVITY IS REGULATED UNDER THE MINING ACT OF 1971, OR IS A LANDFILL REGULATED BY THE DIVISION OF WASTE MANAGEMENT. IF THE LAND-DISTURBING ACTIVITY AND ANY RELATED BORROW OR WASTE ACTIVITY ARE NOT CONDUCTED BY THE SAME PERSON, THEY SHALL BE CONSIDERED SEPARATE LAND-DISTURBING ACTIVITIES AND MUST BE PERMITTED EITHER THROUGH THE SEDIMENTATION POLLUTION CONTROL ACT AS A ONE-USE BORROW SITE OR THROUGH THE MINING ACT.



EROSION CONTROL DETAILS

DATE:	MARCH 21, 2024
DRAWN:	THR
CHECKED:	AMW
SHEET TITLE:	

ISSUE: **100% CONSTRUCTION DOCS**

PROJECT NO:

NO.	REVISION	DATE
1	RESUBMISSION- SITE PLAN	11/08/2024

KEY MAP





FACILITIES DESIGN AND

CONSTRUCTION

WAKE COUNTY OFFICE BUILDING

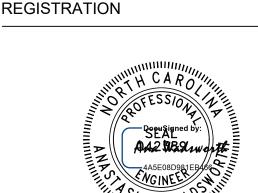
11TH FLOOR

RALEIGH, NC 27602

BLUE JAY POINT

COUNTY PARK

CLIENT



120 N. BOYLAN AVENUE RALEIGH, NC 27603 WWW.THEWOOTENCOMPANY.COM

ARCHITECT IN SITU STUDIO RALEIGH, NC 27604

704 N. PERSON STREET

WWW.INSITUSTUDIO.US CIVIL ENGINEER THE WOOTEN COMPANY

CONSULTANTS

Surface 678, P.A. 215 Morris Street, Suite 150 www.surface678.com

Durham, NC 27701 p:919-419-1199

f : 919-419-1669

GENERAL STRUCTURAL NOTES

<u>GENERAL</u>

THESE DRAWINGS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF LYSAGHT & ASSOCIATES, P.A., FOR USE SOLELY WITH THIS PROJECT AND SHALL NOT BE REPRODUCED FOR OTHER PURPOSES.

THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS IS THE PROJECT STRUCTURAL ENGINEER-OF-RECORD (SER) WHO BEARS LEGAL RESPONSIBILITY FOR THE PERFORMANCE OF THE STRUCTURAL FRAMING RELATING TO PUBLIC HEALTH, SAFETY AND WELFARE. NO OTHER PARTY, WHETHER OR NOT A PROFESSIONAL ENGINEER, MAY COMPLETE, CORRECT, REVISE, DELETE OR ADD TO THESE CONSTRUCTION DOCUMENTS OR PERFORM INSPECTIONS OF THE WORK WITHOUT THE WRITTEN PERMISSION OF THE SER.

USE STRUCTURAL DRAWINGS IN CONJUNCTION WITH JOB SPECIFICATIONS, AND OTHER DRAWINGS.

SECTIONS AND DETAILS SHOWN SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.

ALL NON-STRUCTURAL ELEMENTS INDICATED ON THE DRAWINGS HAVE BEEN SHOWN IN GENERAL RELATIONSHIP TO THE STRUCTURAL ELEMENTS. THEY SHALL NOT BE ASSUMED TO BE ACCURATE AND REFERENCE MUST BE MADE TO THE APPROPRIATE CONSULTANT(S) PLANS AND SPECIFICATIONS.

CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND TAKE ALL NECESSARY FIELD MEASUREMENTS.

THE STRUCTURE SHOWN ON THESE DRAWINGS IS STRUCTURALLY SOUND ONLY IN ITS COMPLETED FORM. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING TO STABILIZE THE BUILDING DURING CONSTRUCTION.

LATERAL LOAD RESISTING SYSTEM

LATERAL STABILITY FOR THE BUILDING WILL BE PROVIDED BY SHEAR WALLS AND MOMENT FRAMES AS SHOWN ON THE DRAWINGS.

DIMENSIONS

THE CONTRACTOR, BEFORE STARTING ANY WORK, SHALL CHECK ALL DIMENSIONS GIVEN ON THE STRUCTURAL DRAWINGS, RELATING TO GRID LINES, COLUMN AND WALL LOCATIONS, STRUCTURAL AND FINISHED FLOOR ELEVATIONS, MEMBER SIZES, ETC., WITH THE ARCHITECTURAL DRAWINGS. IF ANY DISCREPANCY IS NOTICED, IT SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER AND WORK SHALL NOT COMMENCE UNTIL INSTRUCTIONS ARE RECEIVED FROM THE ENGINEER.

THE CONTRACTOR SHALL SEEK INSTRUCTION FROM THE ENGINEER FOR ANY DIMENSION NOT GIVEN OR OBTAINABLE FROM THE DRAWINGS. THE CONTRACTOR SHALL NOT USE SCALE TO OBTAIN OR VERIFY ANY DIMENSION SHOWN ON THESE DRAWINGS.

SCOPE OF STRUCTURAL ENGINEERING SERVICES

THE STRUCTURAL ENGINEER HAS PERFORMED THE STRUCTURAL DESIGN AND REVIEWED THE ARCHITECTURAL PLANS FOR THIS PROJECT. SITE VISITS ARE ALSO INCLUDED IN THE FEE (IF THE ARCITECT, CONTRACTOR OR OWNER CONTACTS THE STRUCTURAL ENGINEER AT THE APPROPRIATE TIME). THE ARCHITECT, CONTRACTOR OR OWNER SHALL CONTACT THE STRUCTURAL ENGINEER AT THE FOLLOWING STAGES OF CONSTRUCTION FOR A FIELD REVIEW OF THE WORK:

- I. AFTERFOOTING EXCAVATION AND REBAR PLACEMENT, BEFORE CONCRETE IS POURED.
- 2. AFTER COMPLETION OF STEEL FRAMING SYSTEM, BEFORE INTERIOR FINISHES ARE INSTALLED.
- 3. AFTER COMPLETION OF THE WOOD FRAMING SYSTEM, BEFORE INTERIOR FINISHES ARE INSTALLED.
- 4. AT ANY STAGE OF CONSTRUCTION WHEN DESIGN OR CONSTRUCTION PROBLEMS ARE ENCOUNTERED.

A "CONSTRUCTION REVIEW REPORT" WILL BE SENT TO THE CONTRACTOR AND THE ARCHITECT FOLLOWING EACH FIELD TRIP.

THE STRUCTURAL ENGINEER IS RESPONSIBLE FOR THE DESIGN OF THE PRIMARY STRUCTURAL SYSTEM, EXCEPT FOR THE COMPONENTS NOTED ABOVE. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR ANY SECONDARY STRUCTURAL AND NON-STRUCTURAL SYSTEMS NOT SHOWN ON THE STRUCTURAL PLANS

THE STRUCTURAL ENGINEER HAS NOT DONE A SUBSURFACE INVESTIGATION (HE IS NOT A SOILS SPECIALIST). THE FOUNDATION DESIGN IS BASED UPON AN ASSUMED ALLOWABLE BEARING PRESSURE AS SHOWN IN THE "FOUNDATION" STRUCTURAL NOTES.

THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK; NOR WILL HE BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

FIELD MEASUREMENTS AND THE VERIFICATION OF FIELD DIMENSIONS ARE NOT PART OF LYSAGHT & ASSOCIATES' RESPONSIBILITY. THE CONTRACTOR SHALL CHECK ALL (ASSUMED) EXISTING CONDITIONS SHOWN ON THESE DRAWINGS FOR ACCURACY AND NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES.

ABBREVIATIONS

AB ANCHOR BOLT AFF ABOVE FINISH FLOOR	
ASD ALLOWABLE STRESS DESIGN	
B/U BUILT-UP	
C/C CENTER TO CENTER	
CLNG CEILING	
COL COLUMN	
DJ DOUBLE JOIST	
DR DOUBLE RAFTER	
EJ EXPANSION JOINT	
EW EACH WAY	
FF FINISH FLOOR	
GLULAM GLUED LAMINATED WOOD	
HD HOLD DOWN	
JBE JOIST BEARING ELEVATION	
LBW LOAD BEARING WALL	
LLV LONG LEG VERTICAL	
LVL LAMINATED VENEER LUMBER	
NTS NOT TO SCALE	
OC ON CENTER	
PSL PARALLEL STRAND LUMBER (PARALLAM	1)
PT PRESSURE TREATED	
SER STRUCTURAL ENGINEER-OF-RECORD	
S-P-F SPRUCE-PINE-FIR	
STD STANDARD	
STL STEEL	
SW SHEAR WALL	
SYP SOUTHERN YELLOW PINE	
TOF TOP OF FOOTING	
TOS TOP OF STEEL	
TYP TYPICAL	
UD UPSIDE DOWN	
UNO UNLESS NOTED OTHERWISE	
VIF VERIFY IN FIELD	

CODE

NORTH CAROLINA STATE BUILDING CODE, 2018 EDITION

DESIGN DATA

ALLOWABLE STRESS DESIGN		
OCCUPANCY CATEGORY	II	
FLOOR LIVE LOAD	50	PSF
ROOF DEAD LOAD	15	PSF
ROOF LIVE LOAD	20	PSF
ATTIC LIVE LOAD	10	PSF
ground snow load	15	PSF
FLAT ROOF SNOW LOAD	15	PSF
SNOW EXPOSURE FACTOR	1.0	
SNOW LOAD IMPORTANCE FACTOR	1.0	
THERMAL FACTOR	1.1	
BASIC ULTIMATE WIND SPEED (3-SECOND GUST)	115	MPH
WIND IMPORTANCE FACTOR	1.0	
WIND EXPOSURE	В	
INTERNAL PRESSURE COEFFICIENT	+/- 0.18	
SEISMIC IMPORTANCE FACTOR		1.00
MAPPED SPECTRAL RESPONSE COEFFICIENT	Ss	0.147
MAPPED SPECTRAL RESPONSE COEFFICIENT	SI	0.074
SITE CLASS		D
SPECTRAL RESPONSE COEFFICIENT	Sds	0.157
SPECTRAL RESPONSE COEFFICIENT	SdI	0.119
SEISMIC DESIGN CATEGORY		В

BASIC SEISMIC-FORCE-RESISTING SYSTEM (VISITOR'S CENTER): LIGHT-FRAME (WOOD) WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED

FOR SHEAR RESISTANCE AND STEEL ORDINARY MOMENT FRAMES

BASIC SEISMIC-FORCE-RESISTING SYSTEM (SHELTERS): ORDINARY REINFORCED CONCRETE MOMENT FRAMES

FOUNDATIONS

ALL FOOTINGS SHALL REST ON SOIL CAPABLE OF SAFELY SUPPORTING 2000 PSF. CONTACT STRUCTURAL ENGINEER IF UNSATISFACTORY SUBSURFACE CONDITIONS ARE ENCOUNTERED.

FOOTINGS SHALL BE CARRIED TO A LOWER ELEVATION THAN THOSE INDICATED ON THESE DRAWINGS IF NECESSARY TO REACH FIRM UNDISTURBED SOIL.

THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF I'-4" BELOW FINISHED GRADE.

ALL FILL SHALL BE PLACED IN 8" MAXIMUM LOOSE LIFTS AND SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-698 (STANDARD PROCTOR METHOD). THIS REQUIREMENT SHALL BE INCREASED TO 98 PERCENT OF ASTM D-698 IN THE FINAL FOOT BENEATH FLOOR SLABS AND PAVEMENTS.

THE SURFACE AREA ADJACENT TO THE FOUNDATION WALL SHALL BE PROVIDED WITH ADEQUATE DRAINAGE AND SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS.

WHEN TOP OR SUBSOILS ARE EXPANSIVE, COMPRESSIBLE OR SHIFTING, SUCH SOILS SHALL BE REMOVED TO A DEPTH AND WIDTH SUFFICIENT TO ASSURE STABLE MOISTURE CONTENT IN EACH ACTIVE ZONE AND SHALL NOT BE USED AS FILL.

CONCRETE

CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WIT "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," AND ACI 301, " SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS." ANY ADMIXTURI APPROVED BY THE STRUCTURAL ENGINEER.

CONCRETE SHALL BE NORMAL WEIGHT.

MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3000 PSI.

REINFORCING STEEL

ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE LATEST "MANUAL OF STANDARD PRACTICE FOR DETAI REINFORCED CONCRETE STRUCTURES," ACI 315.

REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A615, GR CLEAR CONCRETE COVER OVER BARS SHALL BE 3" FOR FOOTINGS.

PROVIDE CORNER BARS AT ALL FOOTING STEPS AND CORNERS. BARS SHALL BE A OF 2'-6" LONG AND SHALL HAVE THE SAME SIZE AND SPACING AS HORIZONTAL REINFORCING.

LAP ALL SPLICES IN CONCRETE AS SPECIFICALLY CALLED FOR, BUT AT LEAST 36 BA DIAMETERS (24" MINIMUM) FOR TENSION OR COMPRESSION, UNLESS NOTED OTHE SPLICES IN GROUTED MASONRY 48 BAR DIAMETERS U.N.O.

PROVIDE DOWELS IN WALL FOOTINGS EQUIVALENT IN SIZE AND NUMBER TO VER STEEL EXTENDING 24 BAR DIAMETERS INTO FOOTING AND 36 BAR DIAMETERS IN UNLESS NOTED OTHERWISE.

STRUCTURAL GLUED LAMINATED WOOD

MATERIALS, MANUFACTURE AND QUALITY CONTROL SHALL BE IN CONFORMANC AMERICAN NATIONAL STANDARD ANSI/AITC A190.1 "STRUCTURAL GLUED LAMIN TIMBER".

LAMINATING COMBINATIONS SHALL MEET THE REQUIREMENTS OF ANSI/AITC A19 SHALL PROVIDE ALLOWABLE DESIGN VALUES OF 2400 PSI IN BENDING, 1700 PSI IN COMPRESSION PARALLEL TO GRAIN, 1150 PSI IN TENSION PARALLEL TO GRAIN, 450 COMPRESSION PERPENDICULAR TO GRAIN, 200 PSI IN HORIZONTAL SHEAR, AND IN MODULUS OF ELASTICITY FOR DRY CONDITIONS OF SERVICE.

ADHESIVES SHALL MEET THE REQUIREMENTS FOR WET CONDITION OF SERVICE.

MEMBERS SHALL BE MARKED WITH QUALITY MARK, AND, IN ADDITION, A CERTIFIC CONFORMANCE SHALL BE PROVIDED TO INDICATE CONFORMANCE WITH ANSI/A

THE FABRICATOR SHALL FURNISH CONNECTION STEEL AND HARDWARE FOR JOIN LAMINATED TIMBER MEMBERS TO EACH OTHER AND TO THEIR SUPPORTS EXCLUS ANCHORAGE EMBEDDED IN MASONRY OR CONCRETE, SETTING PLATES, AND ITEN FIELD-WELDED TO STRUCTURAL STEEL. METAL SHAPES TO HAVE ONE COAT OF SH APPLIED PAINT CONTAINING A RUST INHIBITOR.

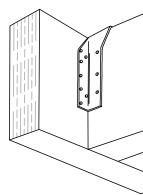
CAREFULLY UNLOAD AND HANDLE THE LAMINATED MEMBERS AT JOBSITE TO PRE SURFACE MARRING AND DAMAGE. IF LAMINATED WOOD IS TO BE STORED BEFOI ERECTION, PLACE IT ON BLOCKS WELL OFF THE GROUND WITH INDIVIDUAL MEM SEPARATED BY STRIPS SO THAT AIR MAY CIRCULATE. COVER THE TOP AND SIDES STORAGE PILES WITH MOISTURE-RESISTANT COVERING. (DO NOT USE CLEAR POL FILMS). WHEN HOISTING MEMBERS INTO PLACE USE PADDED OR NON-MARRING S PROTECT CORNERS WITH WOOD BLOCKING. ADEQUATELY BRACE MEMBERS AS ERECTED TO HOLD THEM IN A SAFE POSITION UNTIL FULL STABILITY IS PROVIDED.

CONTRACTOR TO ENGAGE A PROFESSIONAL ENGINEER LICENSED IN THE STATE THE PROJECT FOR ALL GLULAM CONNECTIONS. CONTRACTOR TO SUBMIT SIGNED AND SEALED CALCULATIONS AND SHOP DRAWINGS FOR REVIEW PRIOR COMMENCING FABRICATION OF GLULAM AND RELATED STEEL COMPONENTS.

PRIOR TO FABRICATION, CONTRACTOR TO SUBMIT FOR REVIEW SHOP DRAWING INDICATING THE LAYOUT OF GLULAM MEMBERS, THE SPECIES AND LAMINATING COMBINATIONS, AND LARGE-SCALE DETAILS OF CONNECTIONS.

ALL GLULAM APPEARANCE GRADES TO BE ARCHITECTURAL PER AITC 110.

DO NOT CUT, DRILL, OR NOTCH GLULAM BEAMS WITHOUT THE APPROVAL OF THE ENGINEER OF RECORD.



TYPICAL UPSIDE DOWN HANGER

	SOLID WOOD FRAMING, HEADERS	AND PLYWOOD		11111111111111111111111111111111111111
VITH ACI 318, "	ALL SOLID WOOD FRAMING SHALL CO ASSOCIATION "NATIONAL DESIGN SPE	MPLY WITH THE NATIONAL FOREST PR CIFICATION FOR WOOD CONSTRUCTION		
JRES SHALL BE	FLOOR AND ROOF JOISTS SHALL BE TH DRAWINGS.	e grade and species shown on thi	E STRUCTURAL	CLAR P
	PLYWOOD SHALL CONFORM TO THE A DESIGN SPECIFICATION". PLYWOOD SI			3/21/25
	ALL MEMBERS SHALL BE FRAMED, ANCH GOOD CONSTRUCTION PRACTICE AN	IORED, TIED AND BRACED IN ACCORD D THE NORTH CAROLINA STATE BUILD		C tro
IN AILING	HEADERS OVER OPENINGS IN LOAD BE SCHEDULE".	ARING WALLS SHALL BE AS SHOWN AT	THE "HEADER	W to
GRADE 60.		S @ 16" O.C. STAGGERED, AND DOUBLE ATERAL SUPPORT FOR TOP OF BEAM. [BOLTS AT	
-		•		
BAR HERWISE. LAP	-	NTINUOUS LATERAL SUPPORT FOR TOP EQUAL TO THAT PROVIDED BY MICROL	OF HEADER.	
/ERTICAL NTO WALL,			LARGE E DRAWINGS	
	SHALL HAVE THE FOLLOWING MINIMU E = 2000 KSI. LVL CANNOT BE SUBSTITU	M STRUCTURAL PROPERTIES: Fv = 290 PS JTED FOR PARALLAM.	5I, Fb = 2900 PSI,	DATE
NCE WITH NATED	BUILT-UP STUD COLUMNS SHALL BE SEC COMPOSITE MEMBER. USE (2) 12d NAILS ON ALTERNATE SIDES OF COLUMN.	CURELY NAILED TOGETHER TO ACT AS S FOR EACH STUD AT 9" O.C. WITH NAI		
190.1, AND N 150 PSI IN D 1700000 PSI	THE HEIGHT OF STUD BEARING WALLS NOTED OTHERWISE ON THE DRAWING HEIGHTS GREATER THAN 10'-0". STUDS POINTS OF LATERAL SUPPORT.		FOR STUD	
5 1700000 PSI	AN EXTRA JOIST SHALL BE PLACED UNI ADDED DURING THE RENOVATION AN GOVERNS OVER INFORMATION SHOW	ID RUN PARALLEL TO THE FLOOR JOIST		
FICATE OF				
I/AITC A190.1.	SIMPSON HANGER SCHEDULE			1 <u>Z</u>
DINING GLUED	SIZE	HANGER	ALLOW. LOAD	ESCRIPTION
USIVE OF	2 X 6	LUS26, LUC26Z	710#	
TEMS	(2) 2 X 6	HU26-2, HUC26-2	1190#	- 8
SHOP	(3) 2 X 6	HU26-3, HUC26-3	1190#	-
				-
REVENT	2 X 8	LUS26, LUC26Z	710#	REV#
ORE	(2) 2 X 8	HU26-2, HUC26-2	1190#	
EMBERS	(3) 2 X 8	HU26-3, HUC28-2	1190#	
S OF	2 X 10	LUS210, LUC210Z	1150#	
OLYETHYLENE	(2) 2 X 10	HU210-2, HUC210-2	2085#	
G SLINGS, AND	(3) 2 X 10	HU210-3, HUC210-3	2085#	1
S THEY ARE ED.	2 X 12	LUS210, LUC210Z	1150#	1
_ ں .				-
E OF	(2) 2 X 12	HU212-2, HUC212-2	2385#	-
	(3) 2 X 12	HU212-3, HUC212-3	2385#	-
R TO	1 3/4 X 9 1/4 (9 1/2) LVL	HU9, HUCQ1.81/9-SDS	2000#	
	3 1/2 X 9 1/4 (9 1/2) LVL OR PSL	HGUS410, HUCQ410-SDS	9100#, 4500#	
1GS	5 1/4 X 9 1/4 (9 1/2) LVL OR PSL	HGUS5.5/10, HUCQ610-SDS	5635#, 4680#	
	1 3/4 X 11 1/4 (11 7/8) LVL	HU11, HUCQ1.81/11-SDS	2500#	
-	3 1/2 X 11 1/4 (11 7/8) LVL OR PSL	HGUS412, HUCQ412-SDS	9400#, 5045#	PARK
	5 1/2 / 11 1/4 (11 //0) LVL OK F3L		7400#, 3043#	

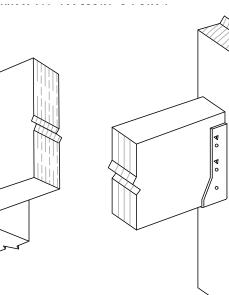
NOTES

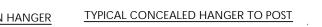
1. LOAD VALUES SHOWN IN THE TABLE ABOVE DO NOT INCLUDE THE LOAD DURATION FACTOR.

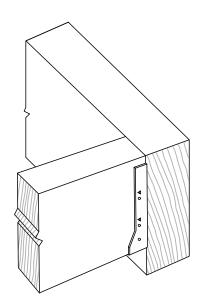
2. USE HANGER PER SCHEDULE ABOVE UNLESS SPECIFIED DIFFERENTLY ON FRAMNG PLAN. ALL FLUSH WOOD/WOOD CONNECTIONS SHALL BE MADE WITH HANGERS. OTHER HANGERS MAY BE SUBSTITUTED FOR THOSE SHOWN IF DESIGN VALUES ARE EQUAL TO OR GREATER THAN THOSE IN THE TABLE.

3. INSTALL HANGERS PER MANUFACTURER'S SPECIFICATIONS.

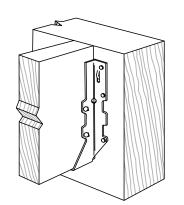
4. USE STAINLESS STEEL HANGERS IF EXPOSED TO THE ELEMENTS OR IN CONTACT WITH TREATED WOOD. (GALVANIZED HANGERS MAY BE USED IN LIEU OF STAINLESS STEEL IF SPECIFICALLY RECOMMENDED BY SIMPSON AND THE TREATING COMPANY.)





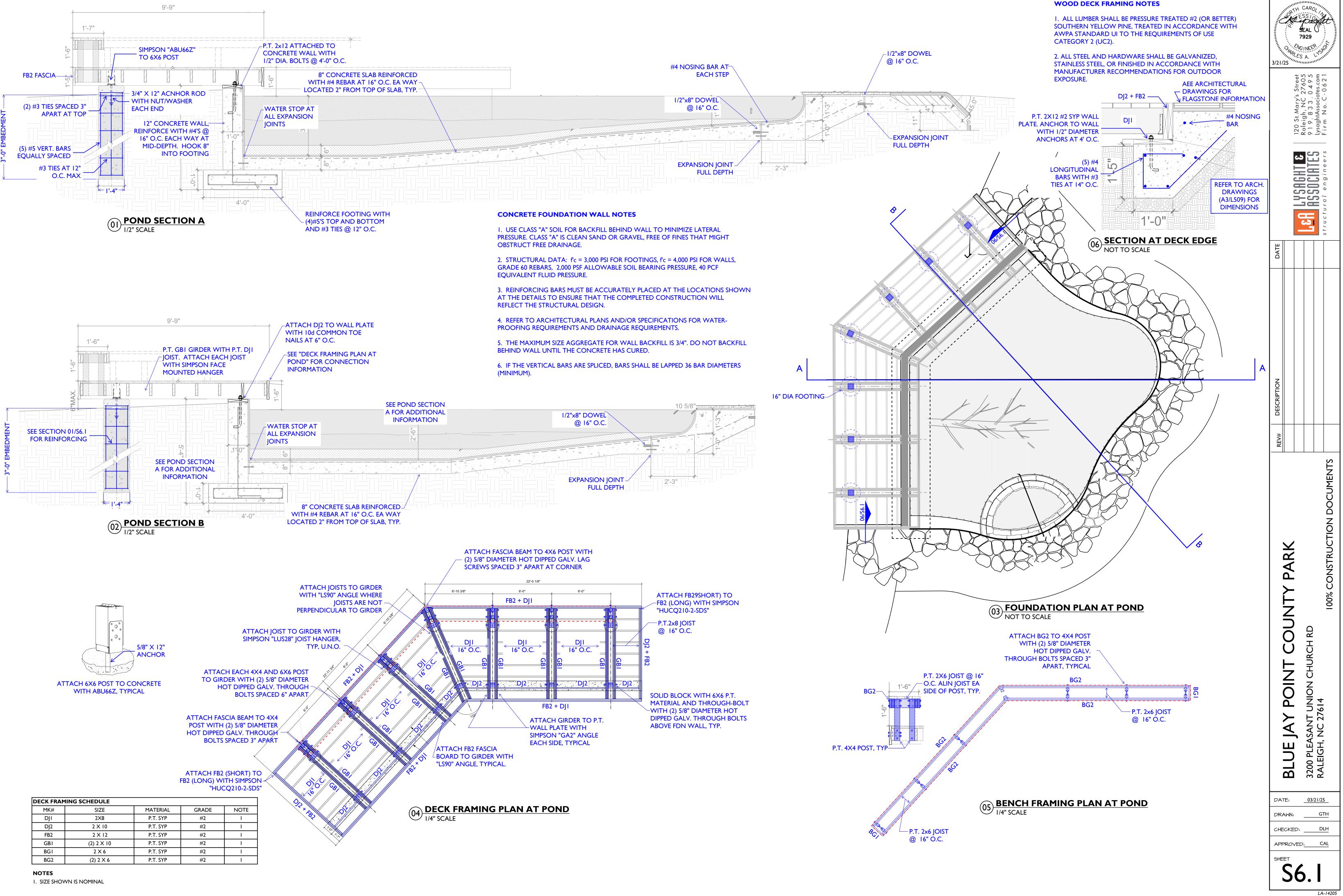


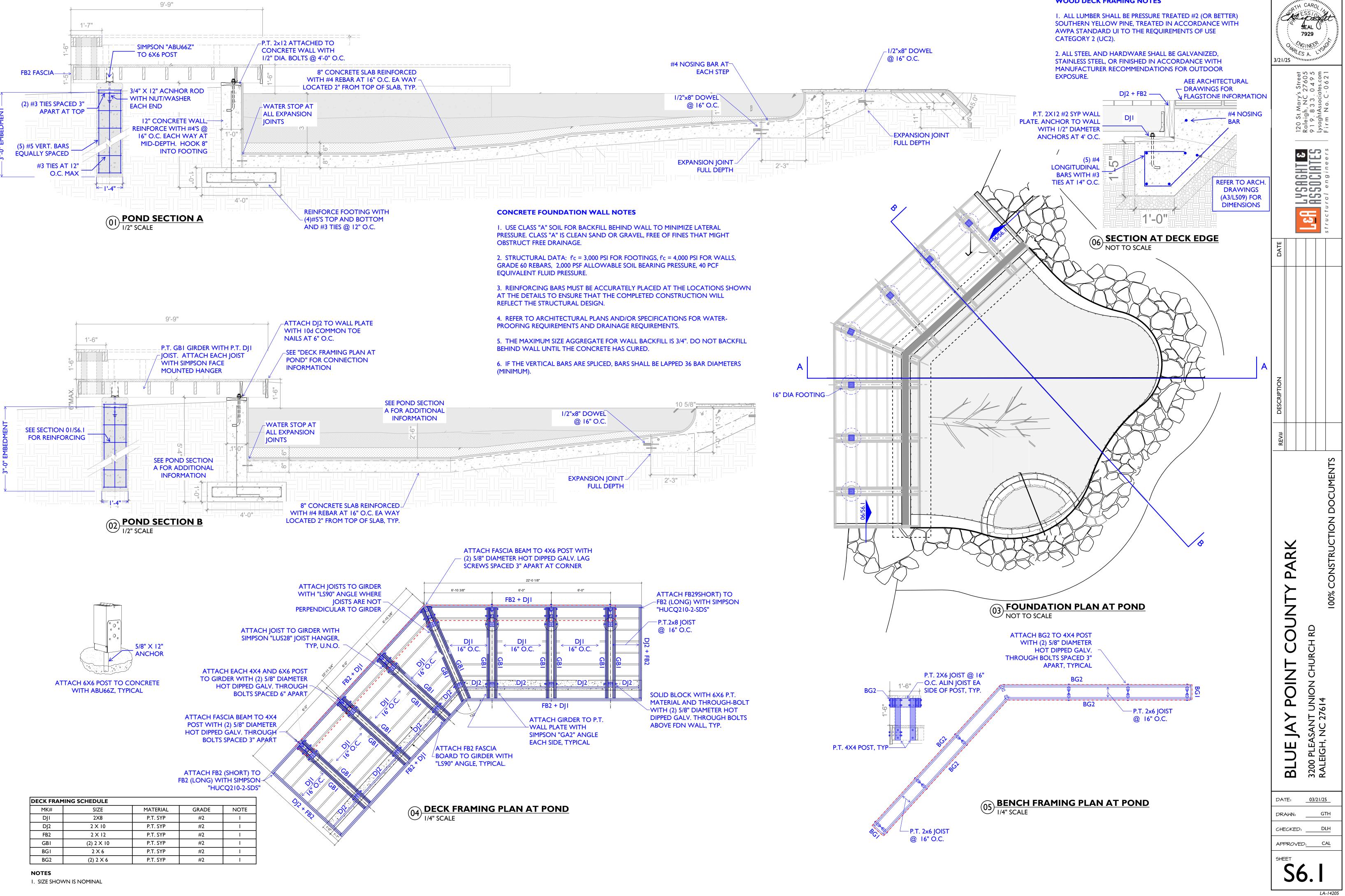
TYPICAL CONCEALED HANGER

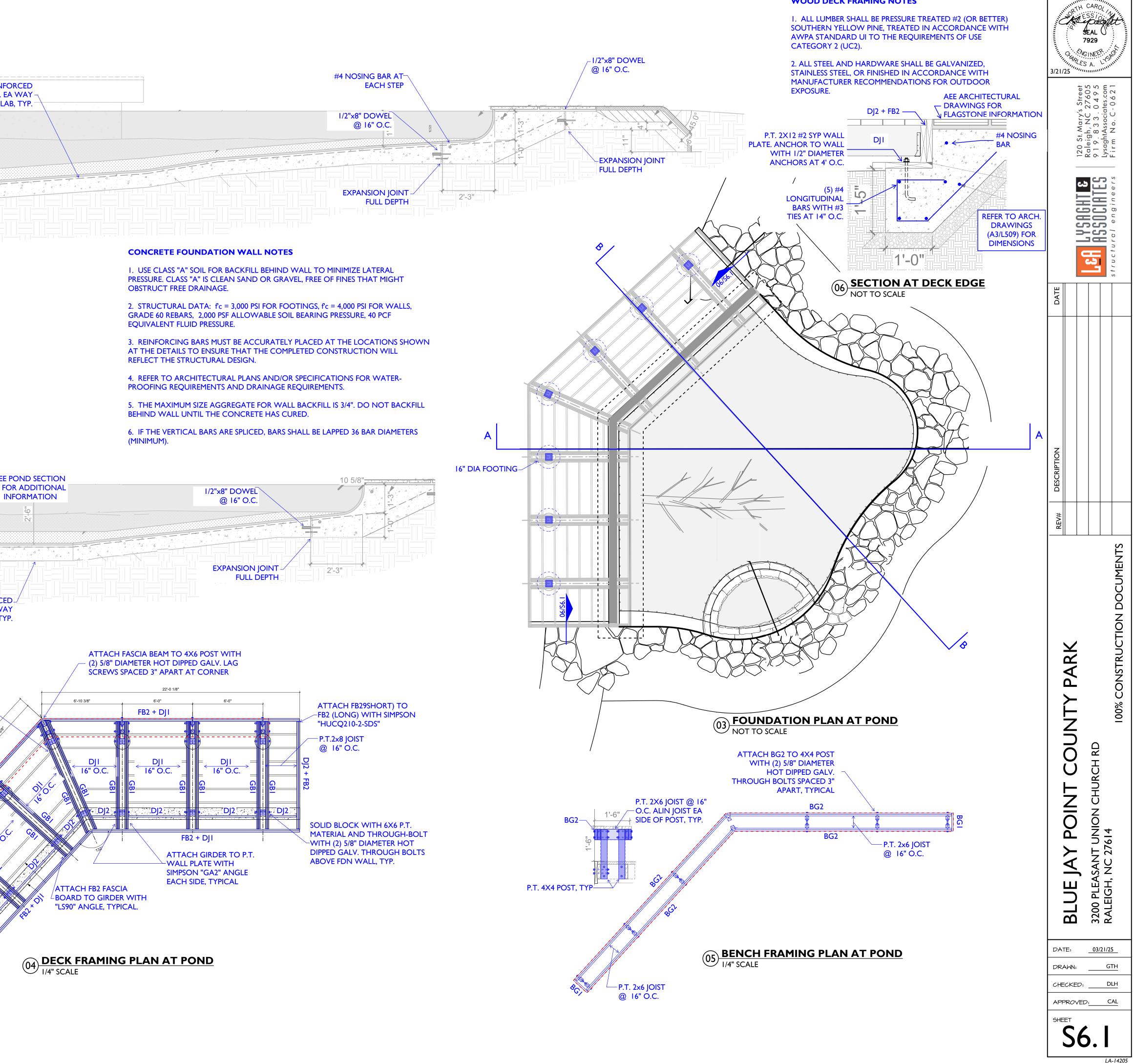


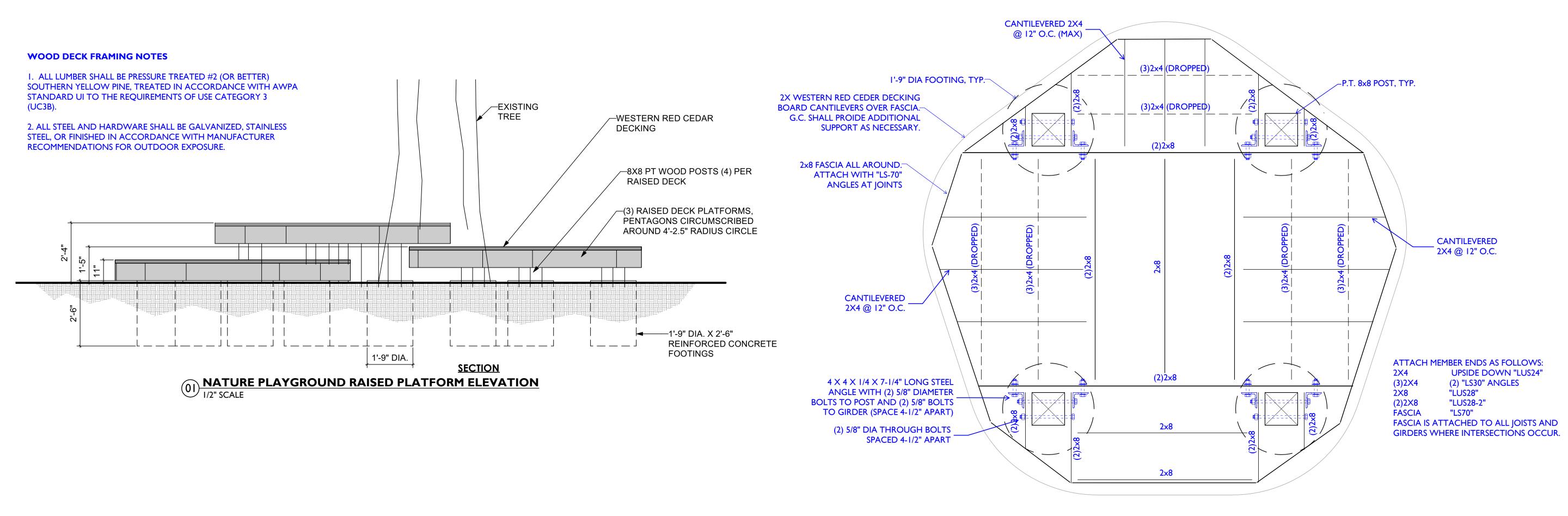
TYPICAL FACE MOUNTED HANGER

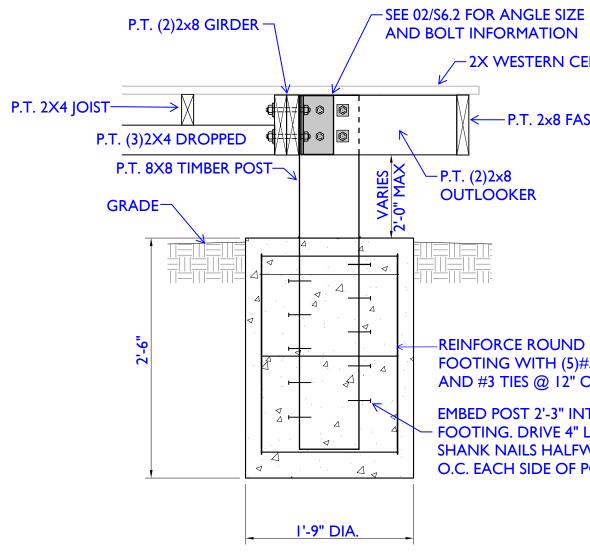
3/21/	25	ENG ES		יווויסחר	uctural engineers Firm No. C-Uozi 2007
DATE			<u>ح</u> ہ		STFUC
REV# DESCRIPTION					
	BLUE AY POINT COUNTY PARK		3200 PLEASANT UNION CHURCH RD	RALEIGH. NC 27614	
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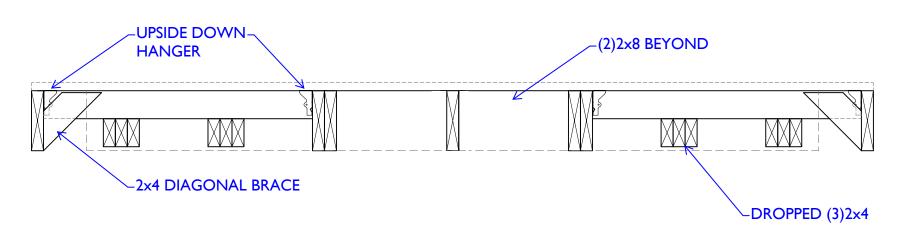
O3 COLUMN SETTING DETAIL

-2X WESTERN CEDAR DECKING

-P.T. 2x8 FASCIA

-REINFORCE ROUND FOOTING WITH (5)#5 AND #3 TIES @ 12" O.C.

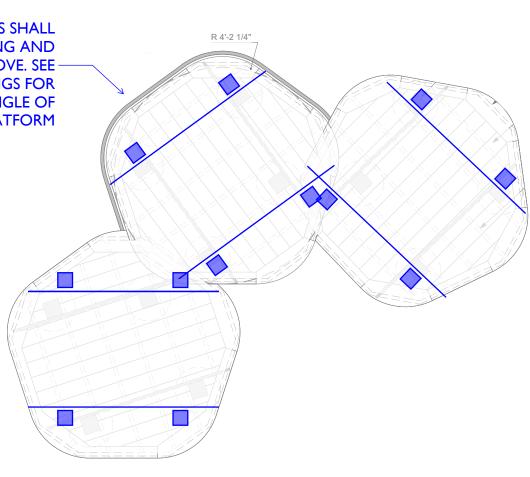
EMBED POST 2'-3" INTO POURED CONCRETE - FOOTING. DRIVE 4" LONG ANNULAR RING SHANK NAILS HALFWAY INTO POST AT 6" O.C. EACH SIDE OF POST.



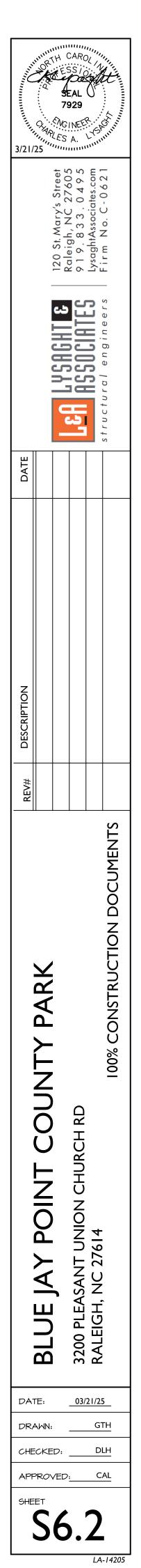


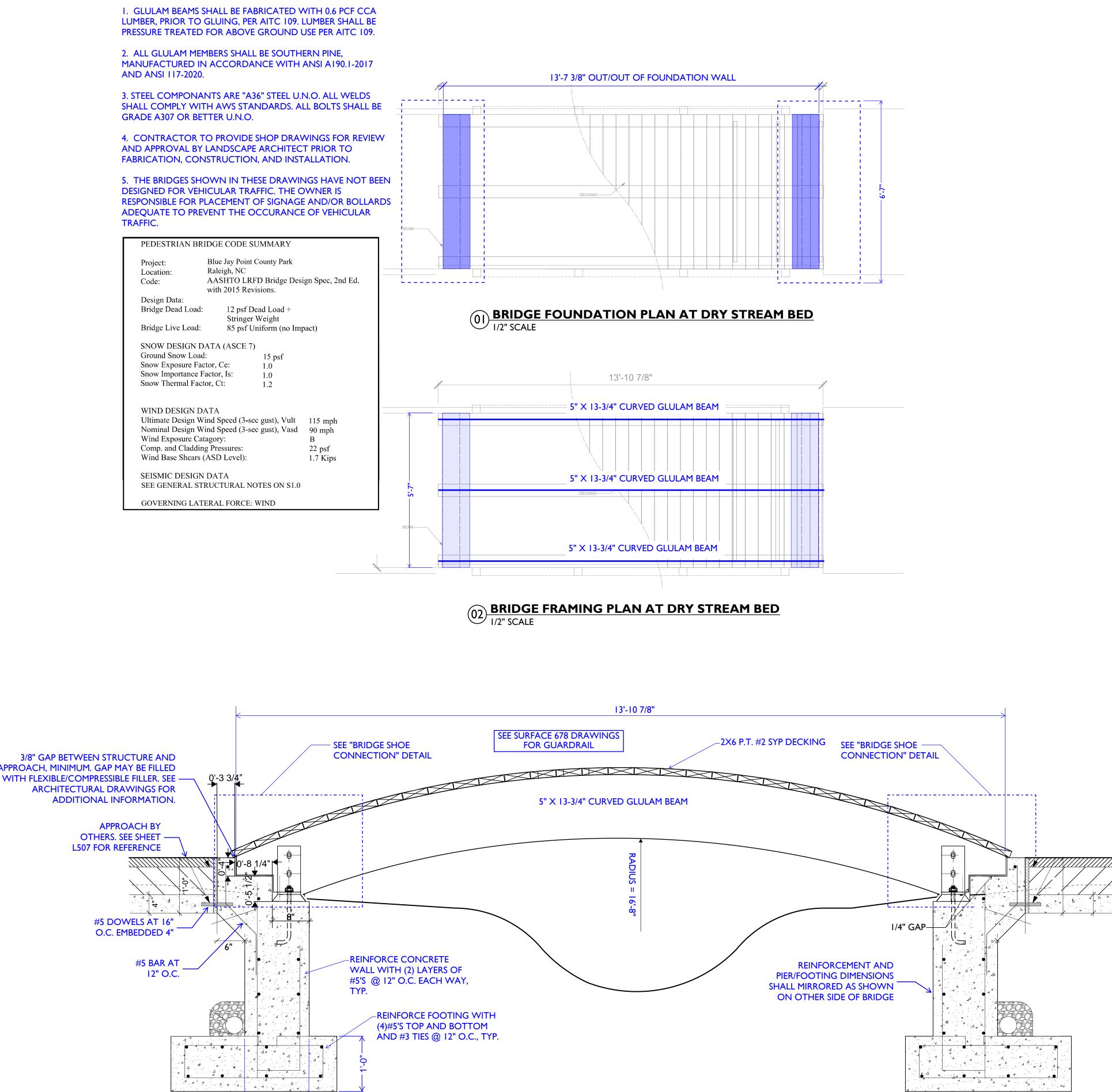
EACH OF THE (3) PLATFORMS SHALL BE FRAMED PER THE FRAMING AND FOUNDAION PLAN ABOVE. SEE -ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND ANGLE OF ROTATION FOR EACH PLATFORM

02 TYPICAL NATURE PLAYGROUND RAISED PLATFORM FOUNDATION AND FRAMING PLAN

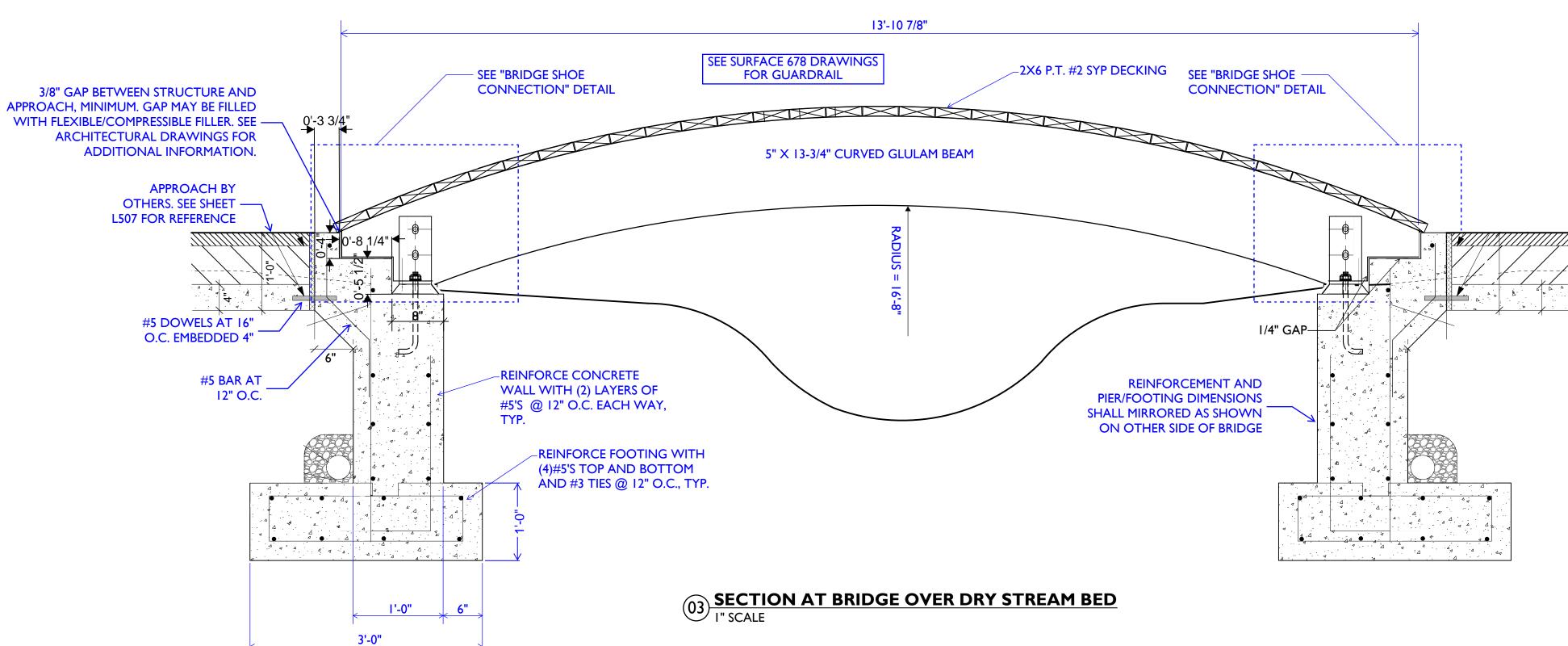


05 RAISED PLATFORM LAYOUT NOT TO SCALE



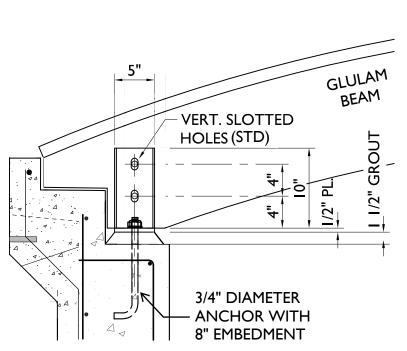


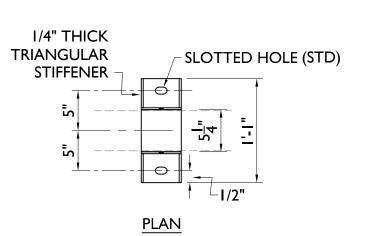
GLUE-LAMINATED BRIDGE FRAMING NOTES

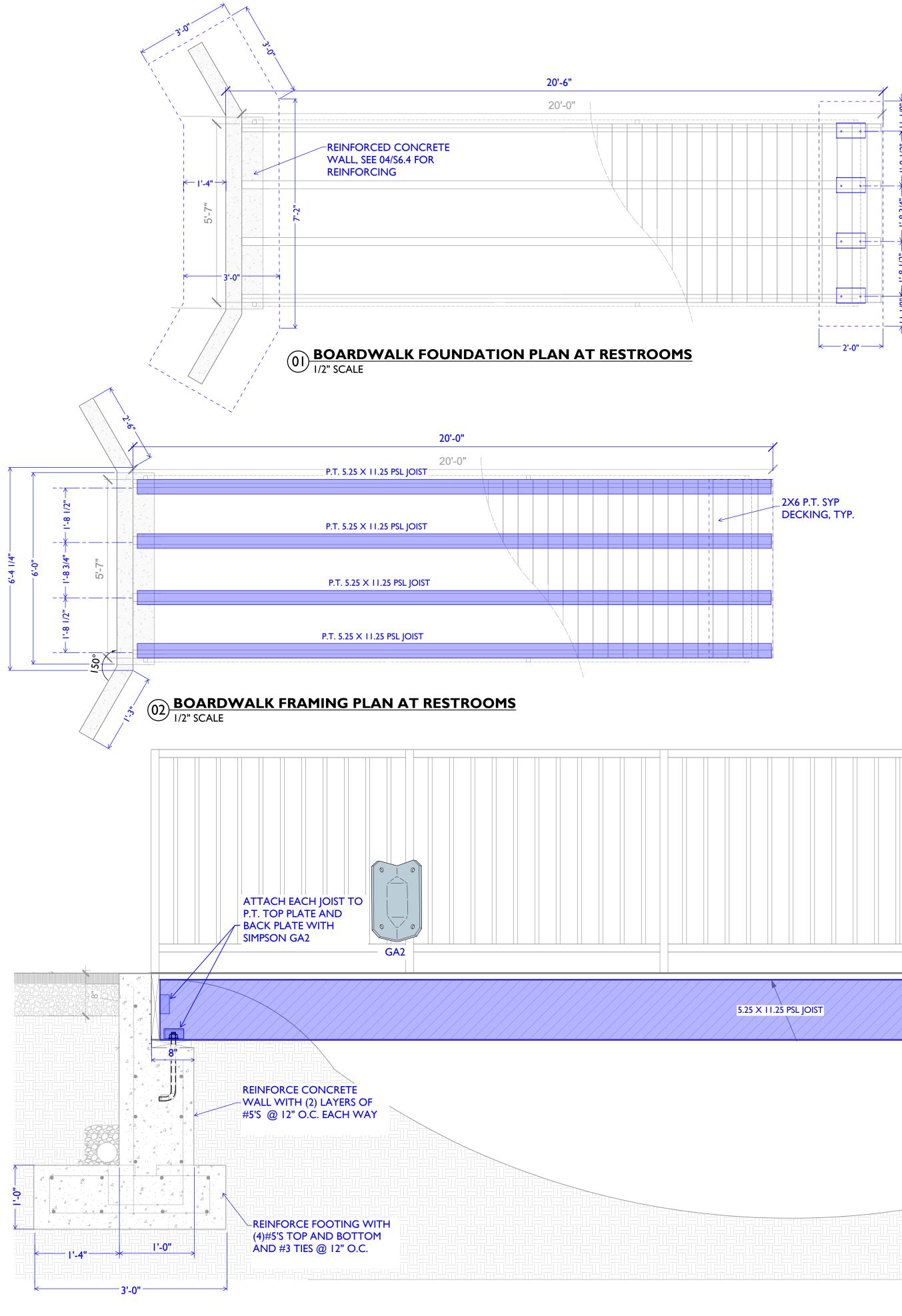


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DATE					structural engineers
DESCRIPTION					
REV#	BLUE AY POINT COUNTY PARK		3200 PLEASANT UNION CHURCH RD	RALEIGH. NC 27614	
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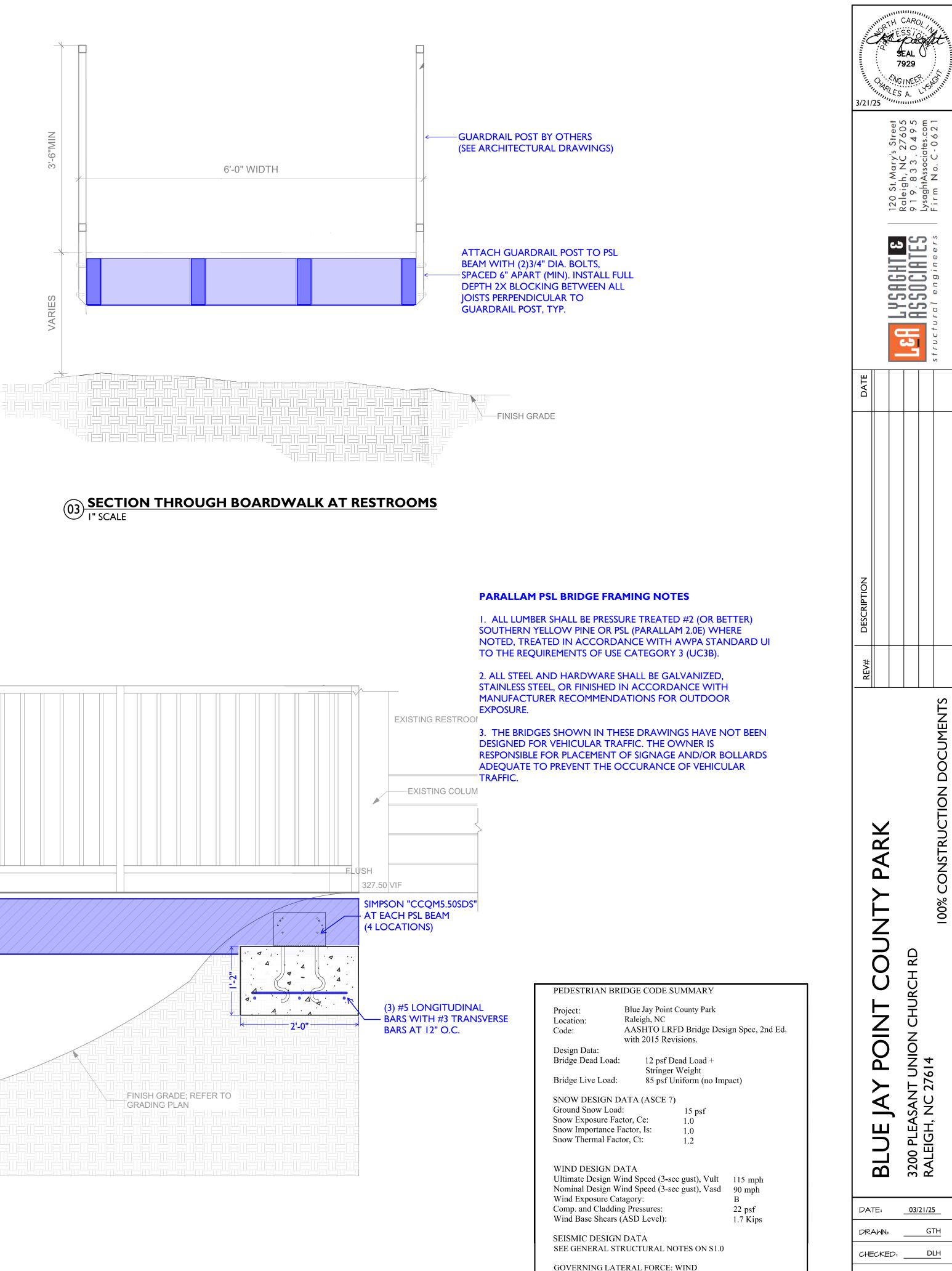






O4 SECTION THROUGH BOARDWALK AT RESTROOMS

	5.25 X 11.25 PSL				I GRADE; REFER	

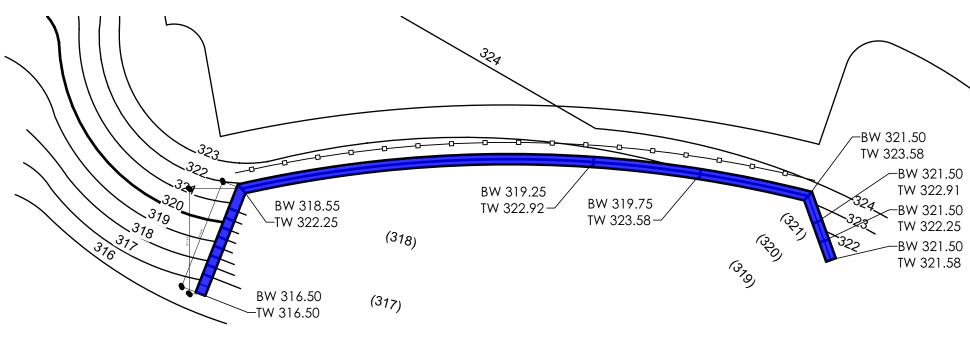


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01 EXTENDED WALL PLAN AT GO APE PARKING LOT NOT TO SCALE

SEGMENTAL RETAINING WALL NOTES

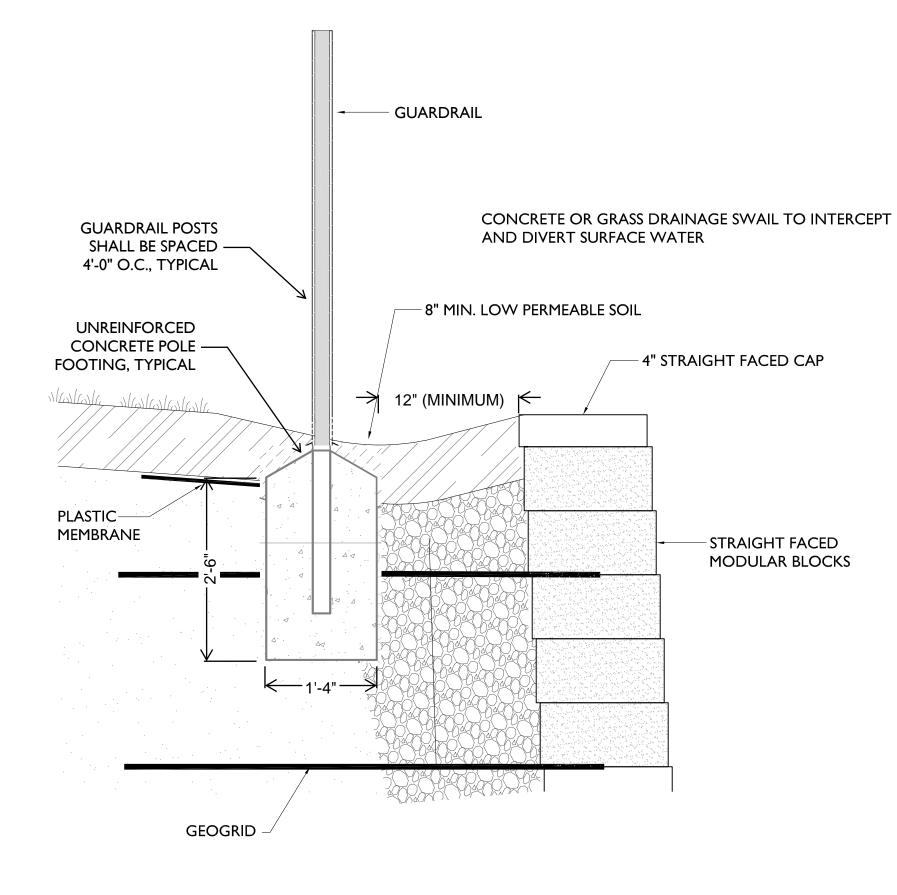
I. MODULAR BLOCK SUPPLIER SHALL PROVIDE SEALED ENGINEER'S SHOP DRAWINGS FOR ALL GEOBLOCK WALLS TO THE STRUCTURAL ENGINEER OF RECORD FOR APPROVAL PRIOR TO CONSTRUCTION.

2. SEGMENTAL RETAINING WALLS ARE DESIGNED TO RESIST GRAVITATIONAL AND LATERAL FORCES IMPOSED FROM SOIL PRESSURES AND SURCHARGE LOADS. PARKING AREA SHALL NOT BE LOCATED WITHIN 5'-0" OF SEGMENTAL RETAINING WALL. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

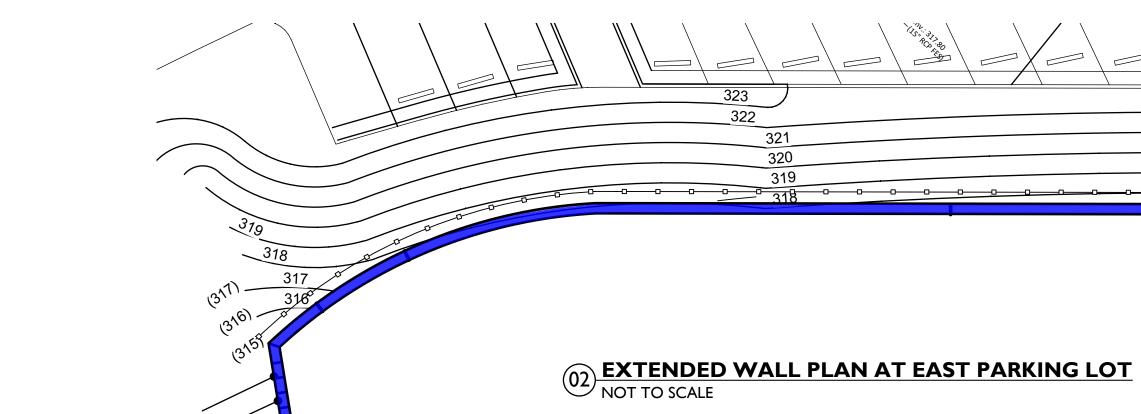
3. ALL SEGMENTAL RETAINING WALLS SHALL BE BACK-FILLED WITH A 24" WIDE LAYER OF CLEAN #57 GRAVEL/CRUSHED STONE WITH DRAIN TILE (BY OTHERS) LOCATED AT THE BASE OF THE WALL.

4. CONTRACTOR TO FIELD COORDINATE EXACT LOCATION OF THE WALL WITH LANDSCAPE ARCHITECT.

5. STEP BOTTOM OF WALL AS REQUIRED TO MAINTAIN LEVELING PAD EMBEDMENT AS NOTED IN DETAIL.

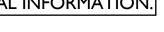


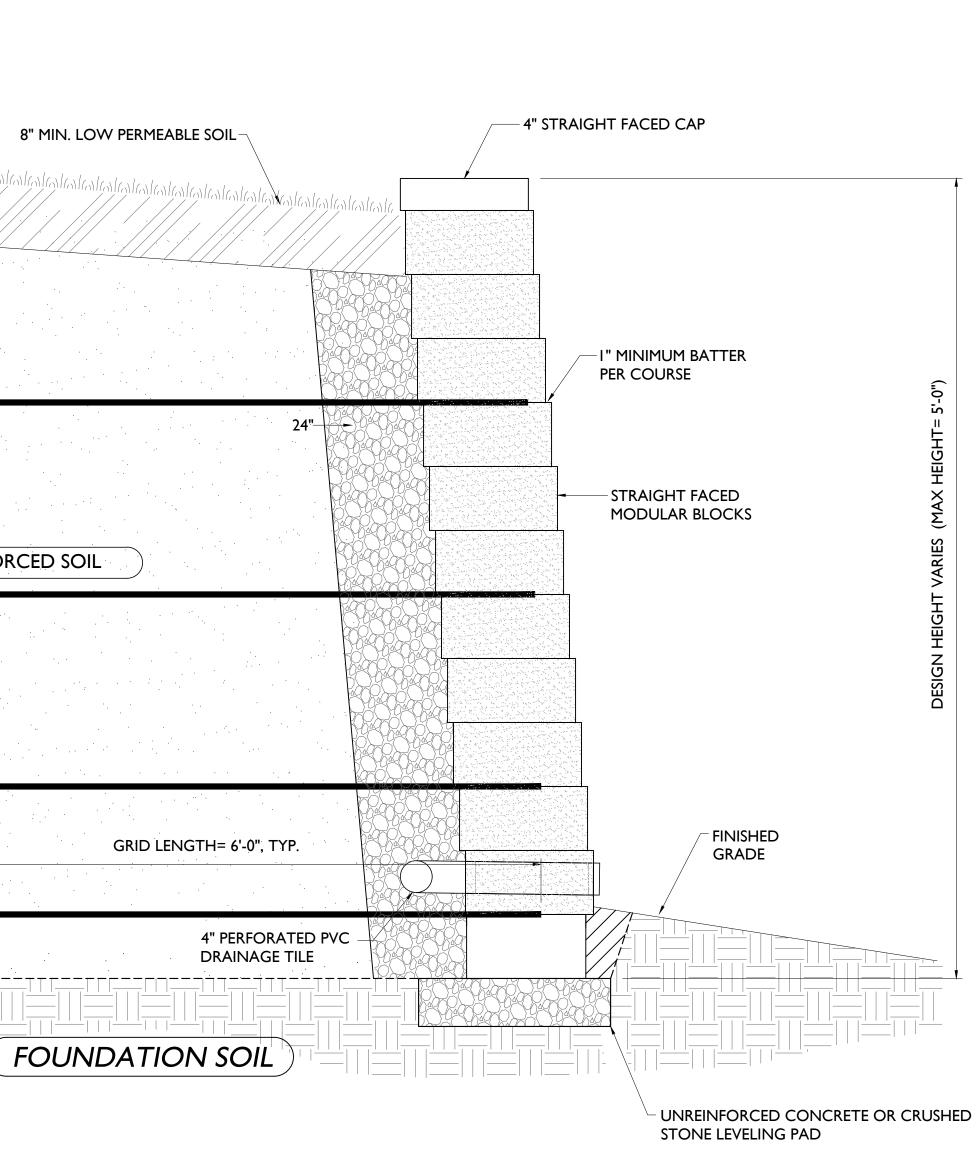
03 DRAINAGE SWALE DETAIL NOT TO SCALE

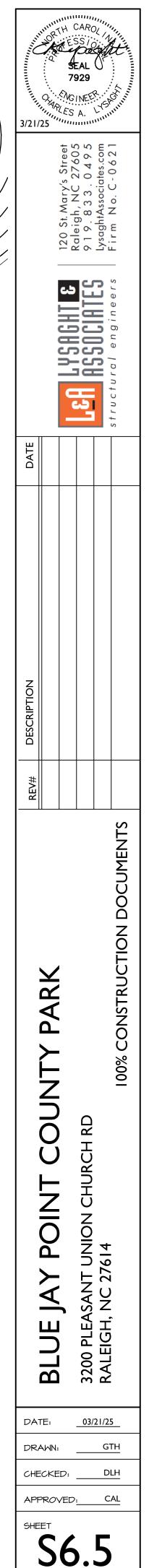


stratratestratestestestesteste 8" MIN. LOW PERMEABLE SOIL-**REINFORCED SOIL** APPROXIMATE LIMITS OF EXCAVATION **RETAINED SOIL** GRID LENGTH= 6'-0", TYP.

SEE ARCH. DRAWINGS FOR ADDITIONAL INFORMATION.







318

LA-14205



THE RETAINING WALL SYSTEM SHALL BE CONSTRUCTED USING BEVELED FACE CONCRETE MASONRY UNITS WITH "GRIDLOK 270 COATED POLYESTER GEOGRID (LTDS = 1475 LB/FT)" OR BETTER. ALL GEOGRID SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION AND GUIDELINES.

THE BOTTOM OF THE RETAINING WALL MAY BE STEPPED AS REQUIRED TO MAINTAIN ADEQUATE EMBEDMENT OF THE LEVELING PAD PER PLAN SPECIFICATIONS.

CONTRACTOR SHALL DETERMINE EXACT LOCATION OF WALL IN FIELD.

MATERIAL SHALL CONSIST OF A COMPACTED CRUSHED STONE BASE OR UNREINFORCED CONCRETE AS SHOWN ON THE CONSTRUCTION DRAWINGS.

UNIT DRAINAGE FILL SHALL CONSIST OF CLEAN #57 CRUSHED STONE OR CRUSHED GRAVEL.

DRAINAGE FILL SHALL BE PLACED WITHIN THE CORES OF, BETWEEN, AND BEHIND THE UNITS AS INDICATED ON THE DESIGN DRAWINGS.

MATERIAL CAN BE SITE-EXCAVATED SOILS WHERE THE ABOVE REQUIREMENTS CAN BE MET. UNSUITABLE SOILS FOR BACKFILL (HIGH PLASTIC CLAYS OR ORGANIC SOILS) SHALL NOT BE USED IN THE BACKFILL OR IN THE REINFORCED SOIL MASS.

DRAINAGE, BY CONTRACTOR, SHALL BE PERFORATED OR SLOTTED PVC PIPE MANUFACTURED IN ACCORDANCE WITH ASTM D-3034 OR CORRUGATED HDPE PIPE MANUFACTURED IN ACCORDANCE WITH AASHTO M252.

SHEAR CONNECTORS SHALL BE CAPABLE OF HOLDING THE GEOGRID IN THE PROPER DESIGN POSITION DURING GRID PRE-TENSIONING AND BACKFILLING.

LEVELING PAD MATERIAL SHALL BE PLACED TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS, TO A MINIMUM THICKNESS OF 6" AND EXTEND LATERALLY A MINIMUM OF 6" IN FRONT AND 12" BEHIND THE KEYSTONE WALL UNIT.

SOIL LEVELING PAD MATERIALS SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY PER ASTM D-698 OR 92% MODIFIED PROCTOR DENSITY PER ASTM D1557.

LEVELING PAD SHALL BE PREPARED TO INSURE FULL CONTACT TO TH SURFACE OF THE CONCRETE UNITS.

FIRST COURSE OF UNITS SHALL BE PLACED ON THE LEVELING PAD AT APPROPRIATE LINE AND GRADE. ALIGNMENT AND LEVEL SHALL BE CH ALL DIRECTIONS AND INSURE THAT ALL UNITS ARE IN FULL CONTACT BASE AND PROPERLY SEATED.

PLACE THE FRONT OF UNITS SIDE-BY-SIDE. DO NOT LEAVE GAPS BETW ADJACENT UNITS. LAYOUT OF CORNERS AND CURVES SHALL BE IN AG WITH MANUFACTURER'S RECOMMENDATIONS.

INSTALL SHEAR/CONNECTING DEVICES PER MANUFACTURER'S **RECOMMENDATIONS.**

PLACE AND COMPACT DRAINAGE FILL WITHIN AND BEHIND WALL UI AND COMPACT BACKFILL SOIL BEHIND DRAINAGE FILL. FOLLOW WAI AND DRAINAGE FILL CLOSELY WITH STRUCTURE BACKFILL.

MAXIMUM STACKED VERTICAL HEIGHT OF WALL UNITS, PRIOR TO UN FILL AND BACKFILL PLACEMENT AND COMPACTION, SHALL NOT EXCE COURSES.

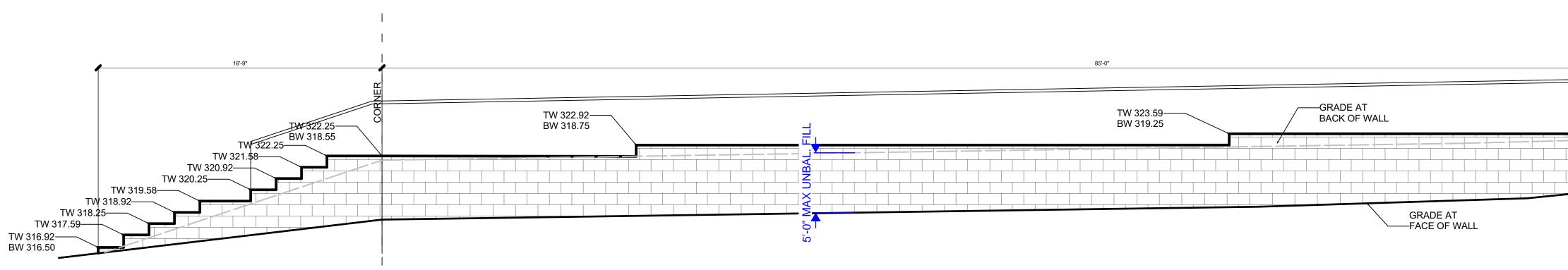
BOND CONFIGURATION - RUNNING WITH BONDS NOMINALLY LOCA MIDPOINT OF VERTICALLY ADJACENT UNITS, IN BOTH STRAIGHT AND ALIGNMENTS.

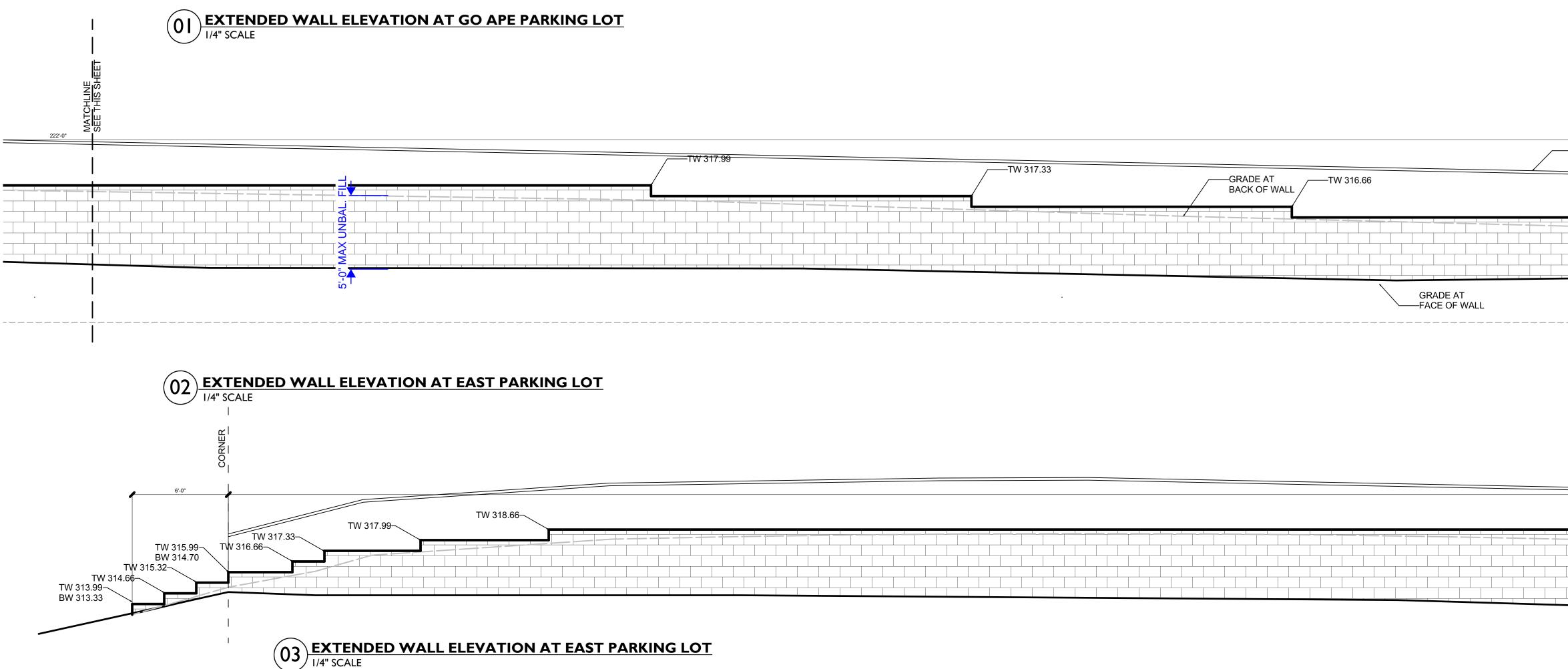
GEOGRID SHALL BE ORIENTED WITH THE HIGHEST STRENGTH AXIS PERPENDICULAR TO THE WALL ALIGNMENT.

GEOGRID REINFORCEMENT SHALL BE PLACED AT THE STRENGTHS, LEI ELEVATIONS SHOWN ON THE CONSTRUCTION DESIGN DRAWINGS.

THE GEOGRID SHALL BE LAID HORIZONTALLY ON COMPACTED BACK ATTACHED TO THE KEYSTONE WALL UNITS. PLACE THE NEXT COURS KEYSTONE CONCRETE UNITS OVER THE GEOGRID. THE GEOGRID SHA PULLED TAUT, AND ANCHORED PRIOR TO BACKFILL PLACEMENT ON GEOGRID.

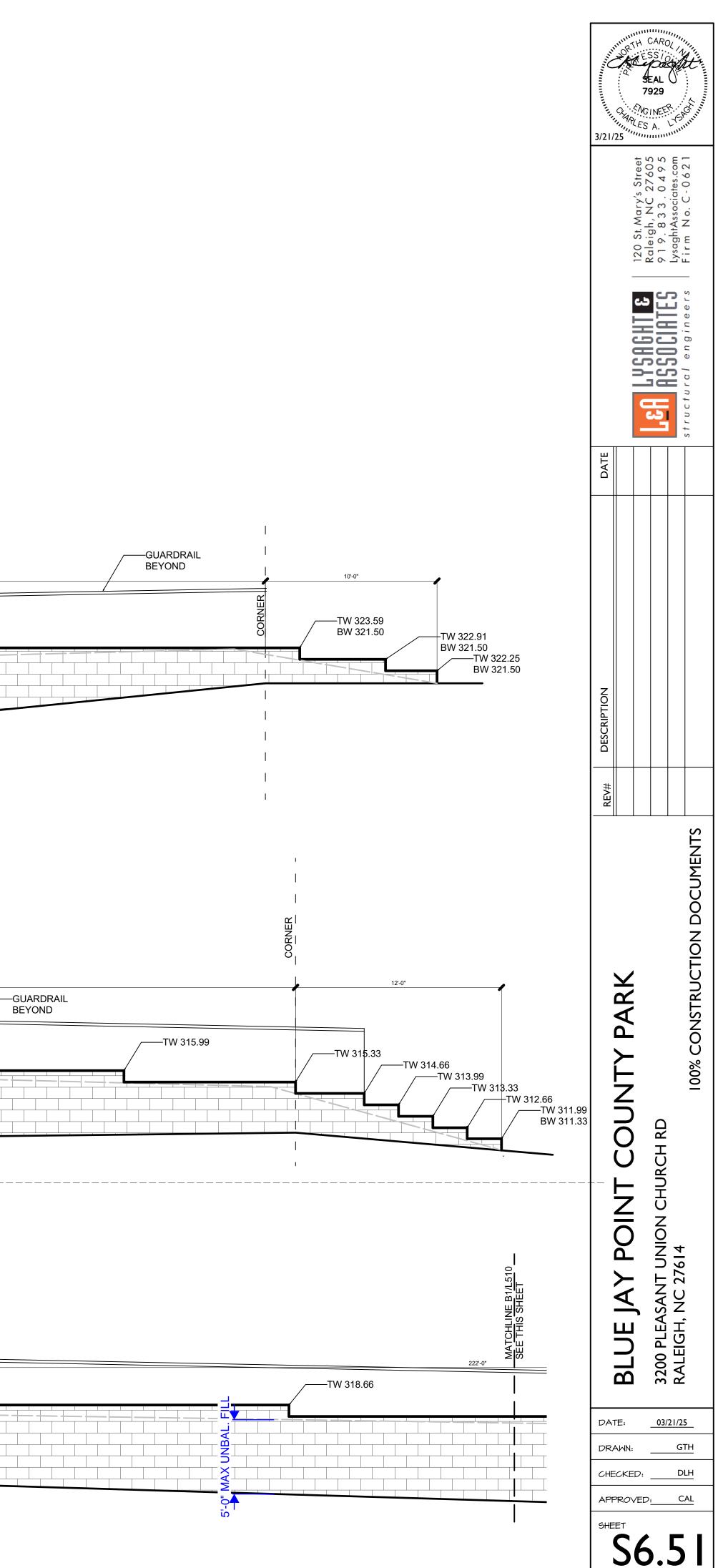
GEOGRID REINFORCEMENTS SHALL BE CONTINUOUS THROUGHOUT EMBEDMENT LENGTHS AND PLACED SIDE-BY-SIDE TO PROVIDE 100% C EACH LEVEL. SPLICED CONNECTIONS BETWEEN SHORTER PIECES OF GAPS BETWEEN ADJACENT PIECES OF GEOGRID ARE NOT PERMITTED.

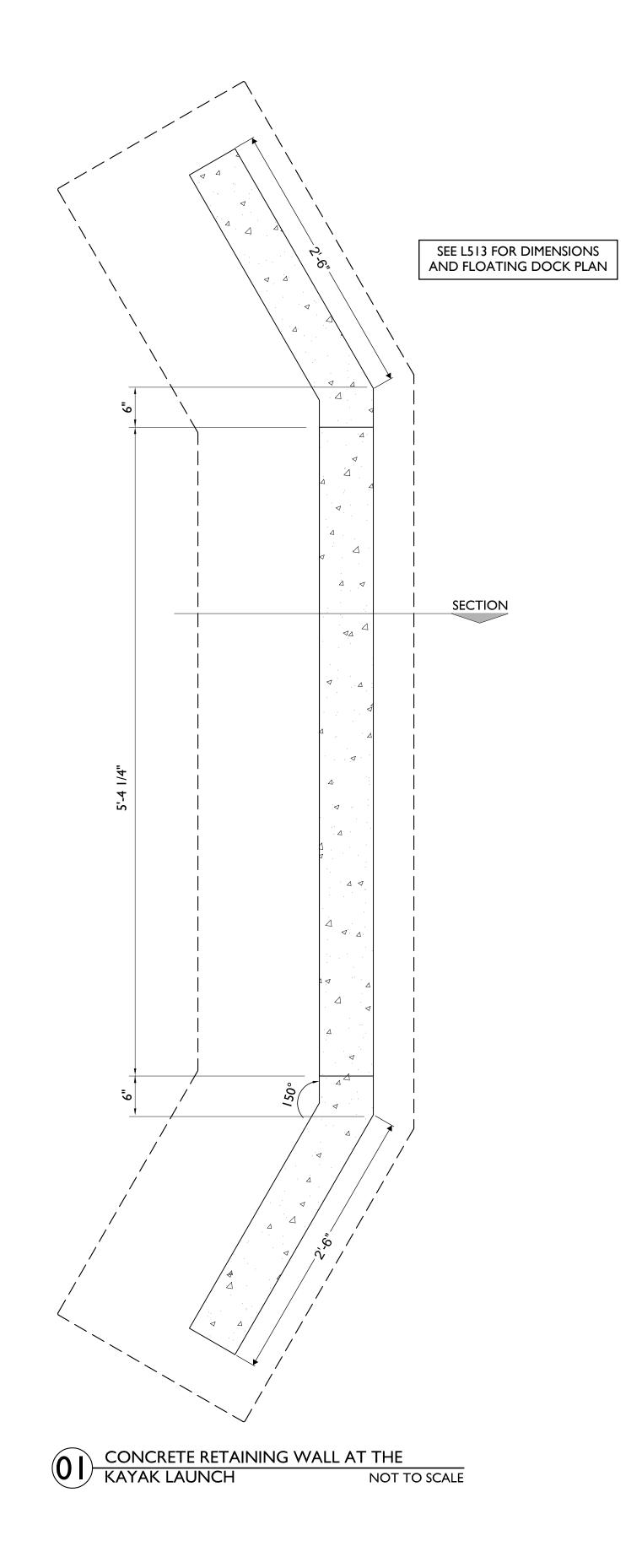


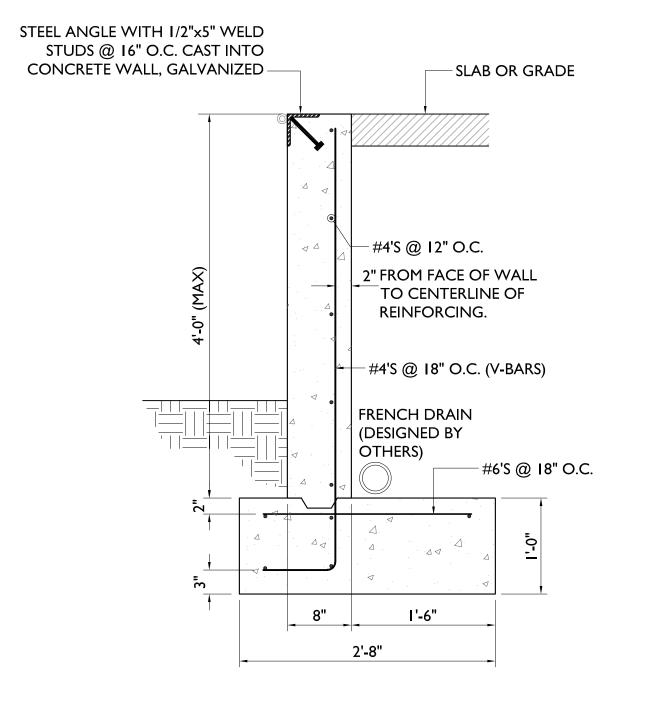


THE BASE	REINFORCED BACKFILL SHALL BE PLACED, SPREAD, AND COMPACTED IN SUCH A MANNER THAT MINIMIZES THE DEVELOPMENT OF SLACK IN THE GEOGRID AND INSTALLATION DAMAGE.	
AT THE		
CHECKED IN ACT WITH THE	REINFORCED BACKFILL SHALL BE PLACED AND COMPACTED IN LIFTS NOT TO EXCEED 7" WHERE HAND COMPACTION IS USED, OR 8"-10" WHERE HEAVY COMPACTION EQUIPMENT IS USED. LIFT THICKNESS SHALL BE DECREASED TO ACHIEVE THE REQUIRED DENSITY AS REQUIRED.	
TWEEN		
ACCORDANCE	REINFORCED BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY PER ASTM D-698 OR 92% MODIFIED PROCTOR DENSITY PER ASTM D1557.	
	ONLY LIGHTWEIGHT HAND-OPERATED EQUIPMENT SHALL BE ALLOWED WITHIN 3' FROM THE TAIL OF THE KEYSTONE CONCRETE UNIT.	
UNITS. PLACE		
VALL ERECTION	TRACKED CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED DIRECTLY UPON THE GEOGRID REINFORCEMENT. A MINIMUM FILL THICKNESS OF 6" IS REQUIRED PRIOR TO OPERATION OF TRACKED VEHICLES OVER THE GEOGRID. TRACKED	
UNIT DRAINAGE KCEED TWO	VEHICLE TURNING SHOULD BE KEPT TO A MINIMUM TO PREVENT TRACKS FROM DISPLACING THE FILL AND DAMAGING THE GEOGRID.	
OCATED AT ND CURVED	RUBBER TIRED EQUIPMENT MAY PASS OVER GEOGRID REINFORCEMENT AT SLOW SPEEDS, LESS THAN 10 MPH. SUDDEN BRAKING AND SHARP TURNING SHALL BE AVOIDED.	
	AT THE END OF EACH DAY'S OPERATION, THE CONTRACTOR SHALL SLOPE THE	
	LAST LIFT OF REINFORCED BACKFILL AWAY FROM THE WALL UNITS TO DIRECT RUNOFF AWAY FROM WALL FACE. THE CONTRACTOR SHALL NOT ALLOW SURFACE RUNOFF FROM ADJACENT AREAS TO ENTER THE WALL CONSTRUCTION	
lengths, and s.	SITE.	
	CAP UNITS SHALL BE GLUED TO UNDERLYING UNITS WITH AN ALL-WEATHER	
CKFILL AND	ADHESIVE RECOMMENDED BY THE MANUFACTURER.	
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SECTION

CONCRETE RETAINING WALL NOTES

- EQUIVALENT FLUID PRESSURE.
- REFLECT THE STRUCTURAL DESIGN.
- joints.
- FILL) AND SHALL BE PLACED BELOW THE FROST LINE.
- 8. THE MAXIMUM SIZE AGGREGATE FOR WALLS IS 3/4".

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		120 St. Mary's Street	919.833.0495	LysaghtAssociates.com	I FIFM NO. C-UOZI
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I. USE CLASS "A" SOIL FOR BACKFILL BEHIND WALL TO MINIMIZE LATERAL PRESSURE. CLASS "A" IS CLEAN SAND OR GRAVEL, FREE OF FINES THAT MIGHT OBSTRUCT FREE DRAINAGE. BACKFILL MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER.

2. STRUCTURAL DATA: f'c = 3,000 PSI FOR FOOTINGS, f'c = 4,000 PSI FOR WALLS, GRADE 60 REBARS, 3,000 PSF ALLOWABLE SOIL BEARING PRESSURE, 30 PCF

3. THIS DESIGN IS BASED UPON LEVEL BACKFILL AND NO ADDITIONAL SURCHARGE LOAD. CONTACT THE STRUCTURAL ENGINEER FOR A REDESIGN OF THE WALL AND FOOTING IF THERE WILL BE A SLOPING BACKFILL OR SURCHARGE LOAD.

4. REINFORCING BARS MUST BE ACCURATELY PLACED AT THE LOCATIONS SHOWN AT THE DETAILS TO ENSURE THAT THE COMPLETED CONSTRUCTION WILL

5. PROVIDE WEAKENED PLANE CONTRACTION JOINTS AT INTERVALS OF ABOUT 25 FEET AND KEYED EXPANSION JOINTS AT EVERY FOURTH CONTRACTION JOINT. CUT ALTERNATE LONGITUDINAL BARS EXACTLY OPPOSITE WEAKENED PLANE

6. CONCRETE FOOTINGS SHALL BE ON FIRM UNDISTURBED EARTH (OR ENGINEERED

7. REFER TO ARCHITECTURAL PLANS AND/OR SPECIFICATIONS FOR WATER-PROOFING REQUIREMENTS AND DRAINAGE REQUIREMENTS.

9. DO NOT BACKFILL BEHIND WALL UNTIL THE CONCRETE HAS CURED.

10. IF THE "V-BARS" ARE SPLICED, USE A CLASS B SPLICE WITH A LAP THAT IS 1.3 * Ld.