

April 17th, 2025

Hocutt-Ellington Library Renovation
Bid # 700-ENG-2025-12
Addendum No. 02

# <u>Please note that this addendum is for changes and/or clarifications to the Bid Documents.</u>

# **Bid Changes**

Bidders on this Project are hereby notified that this Addendum as all other Addenda shall be attached to and made a part of the above-named Bidding and Contract Documents.

The following items are issued to add to, modify, and/or clarify the Bidding and Contract Documents. These items shall have full force and effect as the Bidding and Contract Documents and costs involved shall be included in the bid prices. Bids to be submitted on the specified bid date shall conform to the additions and revisions listed herein.

The date of issuance of this addendum is 4/17/2025. All conditions of the addendum are in effect as of this date. Bidders are hereby informed that the following additions, deletions, changes and/or clarifications supersede and supplement the Contract Documents for the above referenced project.

Each bidder shall be responsible for notifying his subcontractors and/or vendors of the contents of this Addendum. The items included in this Addendum are for all Contractors as the items relate to their respective trades.

From:	Davis Kane Architects, PA		
Transmitted to:	Plan Rooms; Known Interested Bidders		
Total Number of Pages:	13		

#### RFI's:

- 1. Per RFI#6 answer, they want metal cove trim in lieu of cove base. However, the Dilex-HKS has 2 anchoring sides so that can be used where wall tile meets the floor tile, but cannot be used at areas with no wall tile. Did they want wall tile throughout the room (elevations G4+G6 on A400 only indicate wet wall) Otherwise, we will have to use the floor tile bullnose as the trim for the non-tile walls.
  - a. A revised detail for the walls not receiving tile has been developed. Refer to detail A6 on revised sheet A610.
- 2. I was looking through addendum #1 and noticed they removed the tile base & replaced with Schluter Dilex. I am not understanding this since only the wet wall is getting wall tile according to sheet A400. Does this mean they are adding wall tile to all walls? You only use Schluter Dilex where floor & wall tile meet. Please advise if I should add wall tile to all walls or add tile base to walls not receiving wall tile.
  - a. Only the wet walls that are elevated on sheet A400 will receive full height wall tile. A new detail clarifying the non-tiled restroom walls has been added. Refer to detail A6/A610 and revised elevations on sheet A400.
- 3. On sheet I-100 a sign type "ST-F" on D1/I100, but it is not detailed on the signage plan or drawing. Can you clarify what this sign is and its dimensions?
  - a. This was leftover from a previous sign type that is no longer within the project. This has been removed, refer to revised Sheet I100.
- 4. 033000 1.7.A All installers and supervisors to be ACI Technician certified. This is mostly just a remove and pour back. Are these certifications needed?
  - a. ACI certification is not required for this project.
- 5. 051200 requires steel fabricator & erector to be AISC certified. For this small of a job can this requirement be deleted?
  - a. AISC certification is not required for this project.
- 6. Article 2 found in the bid form documents says to include a certificate of authorization to do business in North Carolina (Secretary of State). Can you please provide clarification on the following: According to the NC Secretary of State's website, a Certificate of Authorization to do business in NC is for foreign entities. A Certificate of Existence is proof of registration for NC companies to do business in NC and that the company is in good standing with the SOS. Which form is needed for the Hocutt-Ellington Library Renovation bid?
  - a. The "Certificate of Existence" is the document that shall be used for this project. The other form can be disregarded.

### **General Clarifications:**

1. Clarification: Regarding the fire alarm scope, the Owner will have the existing system removed prior to the GC taking over the library for renovation. The

- electrical drawings have been updated to communicate that the Owner will remove the existing fire alarm system before the GC takes over the building.
- 2. Clarification: Regarding access controls, intrusion alarm, and security camera scope, all of the infrastructure for these scope items shall be in the GC's scope of work. But the new access controls, alarm, and security cameras, associated wiring, devices, face plates, etc. will be installed by the Owner's 3<sup>rd</sup> party vendor and the GC shall coordinate with them as part of their scheduling of construction activities. The electrical drawings and specs have been updated to communicate this intent for the GC to provide just the infrastructure.
- 3. Last day to ask questions and request clarifications is Fri Apr 18 at 5PM. No questions submitted after this time will be answered out of fairness to all bidders.
- 4. A final addendum (Addendum 3) will be sent out on Tue Apr 22 and it will include responses to any questions not yet addressed and any additional questions received up until Apr 18 at 5PM.

#### **Specifications:**

1. (None)

# **Drawings:**

- 1. Sheet A400
  - a. Revised Restroom Elevations G4, G6, and A2 to remove the bullnose tile base (TB1) and instead indicate a metal transition trim.
- 2. Sheet A610
  - a. Added detail A6 to indicate the floor base treatment in restrooms for walls that do not have tile.
- 3. Sheet I100
  - a. Removed signage tag "ST-F" from the children's room area.
- 4. Sheet ED201
  - a. Clarifications for fire alarm system scope.
- 5. Sheet E201
  - a. Clarifications for access control, intrusion alarm and security panels, devices, and wiring.
- 6. Sheet E202
  - a. Clarifications for access control, intrusion alarm and security panels, devices, and wiring.

#### **Attachments:**

- 1. Current Bidder's List
- 2. Sheet A400
- 3. Sheet A610
- 4. Sheet I100
- 5. Sheet ED201
- 6. Sheet E201

# 7. Sheet E202

This addendum has been a	cknowledged and	signed by an authori	zed representative	of the firm
and must be returned with	your bid. Failure	to do so will cause y	our bid to be reje	cted:

Ву:		
	(Signature)	
Name:		
	(Printed)	
Title:		
Date		





Project Contact: Chad Volk
Email: cvolk@daviskane.com

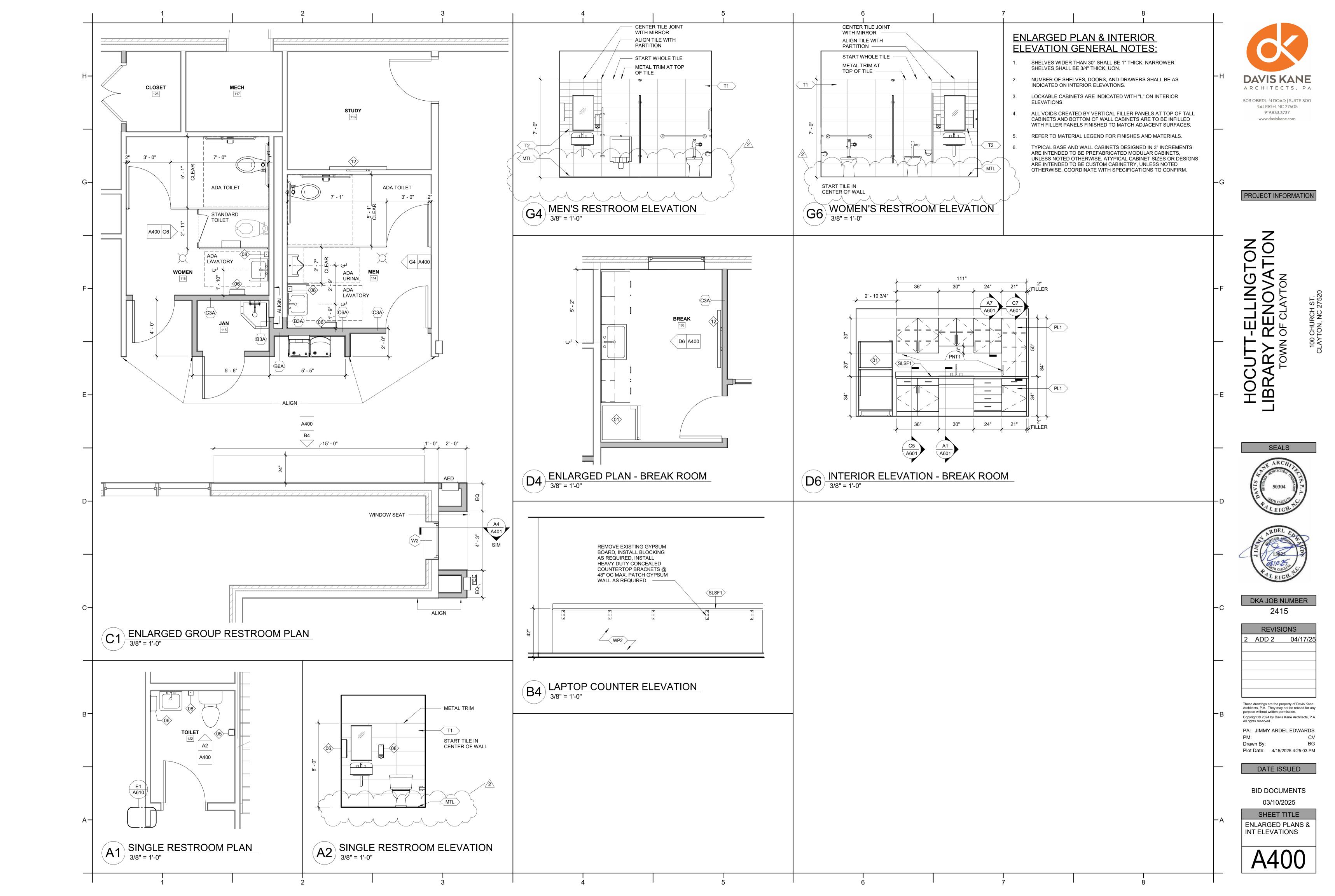
Project:	Hocutt-Ellington Library Renovation
Owner:	Town of Clayton
Owner ID No:	700-ENG-2025-12
DKA Project No:	2415
Bid Due Date & Time:	04/29/25 at 2:00 pm
Bid Receiving Location:	Town of Clayton Town Hall located at 111 E. Second St. Clayton, NC 27520
PreBid Mtg Date & Location:	04/08/25 at 10:00am at Clayton Town Hall, 111 E. Second St. Clayton, NC 27520
BID TYPE:	INVITED PREQUALIFICATION X OPEN

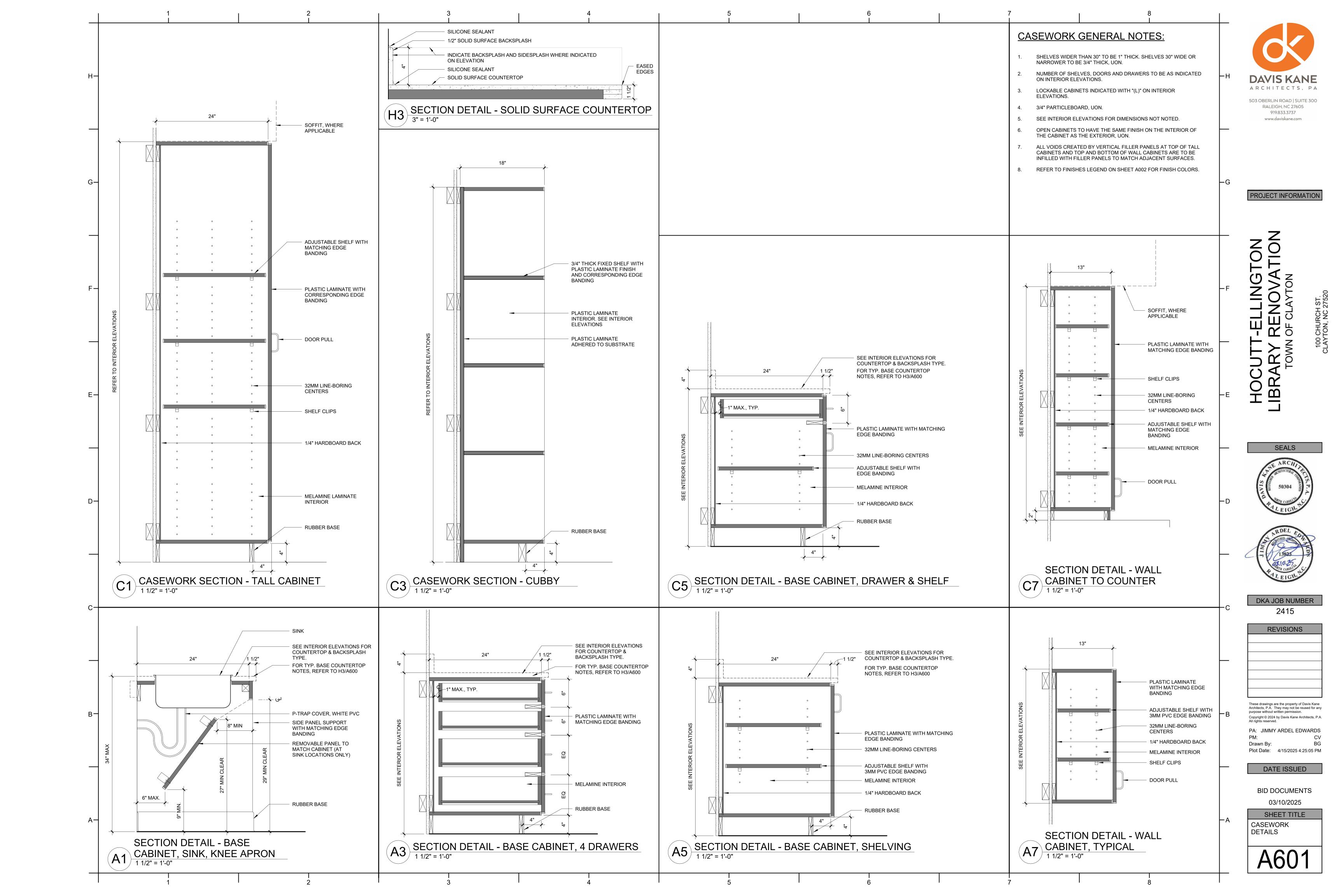
BID TYPE:	INVITED	PREQUALIFICATION	<u> </u>	)PEN
ADDENDA DATES:	1. <u>4/10/25</u> 24/17/25 3	4	5	

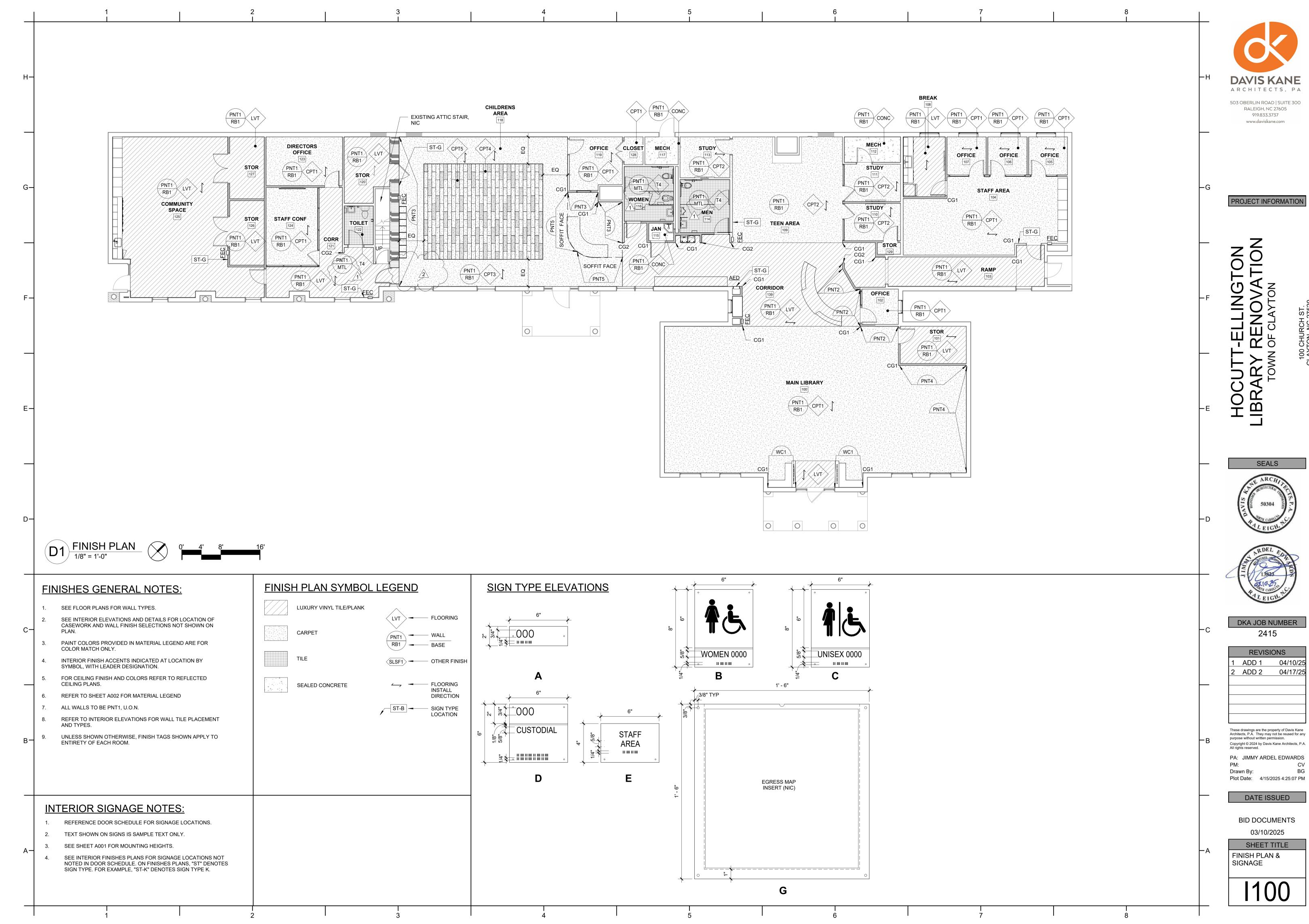
	ADDENDA: REC'D BID								
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					Company Name Company Address Contact Name	Y/N	EMAIL / SHARE FILE	Y/N	Y/N
					PH: XXX-XXX-XXXX EMAIL: XXXXXXXXXQXXXXXX.COM  Maybridge Development		1122		
Х					Mark Santos 910-551-9498 mark@maybridge.com	Υ		Υ	N
×					David Locklear 910-485-6002  dl@lldrywall-construction.com	Y		Y	N
×					Andy Wood; Bryan Wolfe byran@diamondcontracting.com 919-868-1955 andy@diamondcontracting.com	Y		Y	Υ
Х					Vortex Construction Co., LLC  Tracey King, Lee King 9198682450 tking@vortexconstruction.net	Υ		Υ	Υ
Х					Riggs-Harrod Builders, Inc.  Tim Cothran  919-687-0111 tcothran@riggsharrod.com	Y		Y	Υ
Х					Berry Building Group, Inc <u>Jason Knoernschild, Jesse Wells</u> 9198104120 jasonk@berrybg.com	Υ		Υ	Υ

	Dewberry Design-Builders Inc.				
	Dewberry Design Dunders Inc.				
X	Alysen Marie Nassif, Rick Jones		Y	Υ	Υ
	9194243772 ana	ssif@dewberry.com			
	Shepherd Response LLC				
x			Y	Υ	Y
	Sambau Ly; Rob Mallard				'
$\perp$		@shepherd-response.com			
	R.L. Pullen & Associates, Inc.				
X	C : IC		Υ	Υ	Ν
	Daniel Pullen 919-247-2663 dan	iel@rlpullen.com			
	Salisbury & Moore Construction	el@ripulien.com			
	Salisbury & Floore Construction				
X	Gus Mixon; Kyle Annlock		Y	Υ	Υ
	The state of the s	mixon@salisburymoore.com			
	ACH Constructors, LLC	,			
x			Y	Y	Y
^	Mark Ferris		T	Ţ	1
		kF@ACHConstructors.com			
	JD Beam				
x			Y	Υ	Ν
	Tim Manning	u			
$\vdash$		m@jdbeam.com			
	35 North				
X	Mike Lutz		Υ	Υ	Υ
		tz@35n.com			
	Muter Construction	<u> </u>			
X	Jake Bowman		Y	Υ	Ν
	9193751135 jbov	vman@muterconstruction.com			
	Focus Design Builders				
x			Υ	Υ	Ν
	John Graham				
	9198166422 jgra Brookwood Construction	nam@focusdesignbuilders.com			
	Brookwood Construction				
X	Patrick Bur; Tabb Connor		Υ	Υ	Υ
		ick@brookwood-construction.com			
	CATE Services and Construction				
x			Y	Y	Y
^	Gabriel Henry		Y	T Y	Y
$\sqcup \sqcup \bot$		nry@catesvc.com			
$  \   \   \  $	DSW Homes, LLC				
x			Υ	Υ	Ν
	Devon Littlefield				
	4097443400 dev	on.littlefield@dswhomes.com	<del>                                     </del>		
	riank Construction				
X	Sany Bezerra		Υ	Υ	Ν
$  \   \   \  $		rations@plank-construction.com			
	Quality Builders Inc.	<u>C1</u>			
				Y	
	Joel Raper		Y	Y	Ν
	919.821.9001 joel	·@qbiraleigh.com			

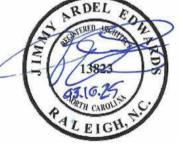
	The Innovative Contracting Group			
x	Karina Morel	Υ	Υ	Ν
	743.255.2128 kmorel@icg-usa.com			
	MLB Construction Services			
x	Denis Price; Shauna Raymond	Υ	Υ	N
	919.387.4647 <u>dprice@mlbind.com</u>			
	CMC Building Inc			
x	Daria Badiumla	Υ	Υ	N
	Parin Bodiwala 919-321-5018 parin@cmcbuildinginc.com			







**DAVIS KANE** ARCHITECTS, PA 503 OBERLIN ROAD | SUITE 300



	REVISI	ONS
1	ADD 1	04/10/25
2	ADD 2	04/17/25
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